

CITY OF PORT ST. LUCIE

PLANNING AND ZONING BOARD AGENDA TUESDAY, DECEMBER 6, 2016

1:30 P.M. – PORT ST. LUCIE CITY HALL
121 S.W. PORT ST. LUCIE BOULEVARD, PORT ST. LUCIE, FLORIDA

1. MEETING CALLED TO ORDER
2. ROLL CALL
3. DETERMINATION OF A QUORUM
4. PLEDGE OF ALLEGIANCE
5. APPROVAL OF MINUTES – **NOVEMBER 1, 2016**
6. **CONSENT AGENDA**
 - A. P16-098 TORINO LAKES 1ST REPLAT – PRELIMINARY & FINAL SUBDIVISION PLAT
7. **QUASI-JUDICIAL PUBLIC HEARINGS**
 - A. P16-188 LG GATLIN & IMPORT – VARIANCE
Location: The property is located on the south side of Gatlin Boulevard, west of Import Drive, east of Brigantine Place and north of Aledo Lane.
Legal Description: Gatlin Commons, Parcel 7.
This is a request to eliminate the existing vehicular connection to the adjacent property to the east and allow Parcel 7 to be developed without a vehicular connection to the adjacent property to the east. Section IV(A)(5) of the Citywide Design Standards requires vehicular connections between adjacent parcels and buildings.
 - B. P16-010 CITY OF PORT ST. LUCIE – CROSSTOWN PARKWAY PARKING/ JANETTE AVENUE – COMPREHENSIVE PLAN AMENDMENT/ SMALL SCALE
Location: The property is located on the west side of Cameo Boulevard between Crosstown Parkway and Janette Avenue.
Legal Description: Crosstown Parkway Parcel No. 2.
This is a request to amend the City of Port St. Lucie's Comprehensive Plan by changing the future land use designation on 0.81 acres from RL (Low-Density Residential) to OSR (Open Space Recreation).
 - C. P16-011 CITY OF PORT ST. LUCIE – CROSSTOWN PARKWAY PARKING/ JANETTE AVENUE – REZONING
Location: The property is located on the west side of Cameo Boulevard between Crosstown Parkway and Janette Avenue.
Legal Description: Crosstown Parkway Parcel No. 2.
This is a request to rezone 0.81 acres of property from RS-2 (Single-Family Residential) to OSR (Open Space Recreation).

- D. P16-012 CITY OF PORT ST. LUCIE – CROSSTOWN PARKWAY PARKING/
EMPIRE STREET – COMPREHENSIVE PLAN AMENDMENT/SMALL
SCALE
Location: The property is located on the west side of Empire Street
between Bayshore Boulevard and Empire Street.
Legal Description: Crosstown Parkway Water Management Tract
(WMT) 7.
This is a request to amend the City of Port St. Lucie’s Comprehensive
Plan by changing the future land use designation of these 6.14 acres
from RL (Low-Density Residential) to OSR (Open Space Recreation).
- E. P16-013 CITY OF PORT ST. LUCIE – CROSSTOWN PARKWAY PARKING/
EMPIRE STREET - REZONING
Location: The property is located on the west side of Empire Street
between Bayshore Boulevard and Empire Street.
Legal Description: Crosstown Parkway Water Management Tract
(WMT) 7.
This is a request to rezone 6.14 acres of property from RS-2 (Single-
Family Residential) to OSR (Open Space Recreation).
- F. P16-171 GEORGE CALLAS HOLDINGS – REZONING
Location: The property is located on the south side of Gatlin Boulevard,
between Edgarce Street and Fondura Road.
Legal Description: Section 31, Block 1711, Lots 1-8 and Block 1712,
Lots 1-4.
This is an amendment to rezone 2.94 acres of property from RS-2
(Single-Family residential) to CS (Service Commercial).
- G. P16-138 ARCCO OF ST. LUCIE PUD @ SLW – PUD AMENDMENT
Location: The property is located on the west side of Peacock
Boulevard between Enterprise and Stadium Drives.
Legal Description: St. Lucie West Plat No. 1, Block 3, Lot I-2.
This is a request to amend the PUD document and concept plan,
including a revision to the concept plan to redesign the parking area
and establish a parking ration of 1 space per 250 sq. ft. for recreational
facilities.
- H. P16-179 CITY OF PORT ST. LUCIE – CHAPTER 158 – ZONING TEXT
AMENDMENT
A City initiated text amendment amending Chapter 158 of the Code of
Ordinances. This text amendment will provide consistent language
related to automobile repair and maintenance in WI (Warehouse
Industrial), and IN (Industrial).

- I. P16-185 ST. LUCIE MEDICAL PARK – HCA REALTY – COMPREHENSIVE PLAN AMENDMENT/SMALL SCALE
Location: The property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue.
Legal Description: Tract 2, 1st Replat of Tract G-5.
This is a request to correct the boundaries of the future land use designations of OSC (Open Space Conservation) and ROI (Residential/Office/Institutional).

- J. P16-186 ST. LUCIE MEDICAL PARK – HCA REALTY – REZONING
Location: The property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue.
Legal Description: Tract 2, 1st Replat of Tract G-5.
This is a request to rezone the property from I (Institutional) and RS-2 (Single-Family Residential) to P (Professional).

8. **NEW BUSINESS**

- A. DETERMINATION OF EXCUSED ABSENCE

9. **OLD BUSINESS**

10. **PUBLIC TO BE HEARD**

11. **ADJOURN**

Notice: In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation to participate in this proceeding should contact the City Clerk's office at 772-871-5157 for assistance. No stenographic record by a certified court reporter will be made of the foregoing meeting. Accordingly, any person who may seek to appeal any decision involving the matters noticed herein will be responsible for making a verbatim record of the testimony and evidence at said meeting upon which any appeal is to be based.

11/30/2016 3:10 PM



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING & ZONING - MEETING OF DECEMBER 6, 2016

FROM: THRESIAMMA KURUVILLA, PLANNER *SK*

RE: TORINO LAKES-FIRST REPLAT
 PRELIMINARY AND FINAL SUBDIVISION PLAT APPLICATION
 PROJECT NO. P16-098

DATE: NOVEMBER 29, 2016

PROPOSED PROJECT: The purpose is to subdivide the Torino Lakes Plat into 148 residential lots, two commercial tracts (Tract CG-1 and CG-2), four tracts for recreation and drainage, and private roadways.

APPLICANT: Richard Lundy of Rich Torino, LLC.

OWNER: Rich Torino, LLC. Proof of ownership is in the file.

LOCATION: This property is located on the west side of East Torino Parkway south of Conley Drive.

LEGAL DESCRIPTION: Tracts D-1, CG-1 and CG-2 of the Torino Lakes plat

SIZE: 16.96 acres

EXISTING ZONING: Torino Lakes PUD (Planned Unit Development).

EXISTING USE: Vacant land.

SURROUNDING FUTURE LAND USES, ZONING AND EXISTING USES:

Direction	Future Land Use	Zoning	Existing Use
N	ROI	I	Vacant property
S	U & RL	RS-2	C-104 Canal & houses
E	OSC & RL	RS-2	Open space & houses
W	OSC	RS-2	Vacant property

IMPACTS AND FINDINGS:

The project has been reviewed for compliance with Chapter 160.01, City Code, regarding provision of adequate public facilities and documented as follows:

Sewer/Water Service: Sewer/water will be provided by the City of Port St. Lucie Utilities. A developer's agreement with the City Utility System Department is required prior to issuance of building permits.

Transportation: The approval of the original PUD was based on a traffic study that determined that the project would generate approximately 1,650 average daily trips. It was determined that this would not have an adverse impact on the adjacent roadway (East Torino Parkway). Per the concept plan the site will have vehicle access via one primary access point and one secondary access point off of East Torino Parkway. Two right and left turn lanes from East Torino Parkway into the site have been provided at each access points. Also, the concept plan shows a 6' sidewalk along one side of each access drive from the common areas connecting East Torino Parkway and a 5' mulch path surrounding the property.

Parks/Open Space: The Torino Lakes PUD shows 815 square feet of open area per dwelling unit including a 15 foot wide upland preservation area in the perimeter/boundary of the subdivision as shown on the concept plan. Total open space area is approximately 7.45 acres.

Storm Water: A paving and drainage plan that is in compliance with the adopted level of service standard is included with the construction plans.

Solid Waste: Solid waste impacts are to be measured and planned based on population projections on an annual basis.

Fire District: The access location (external and internal) has been approved by the Fire District for safety purposes.

Environmental: The applicant has to obtain a clearing permit prior to construction. A 15 foot wide upland preservation area is shown on the perimeter of the subdivision. The applicant has to provide tree survey and tree mitigation plan for the commercial tracts. Gopher tortoises may be present on site and a full survey of the subject property will be required immediately prior to the commencement of construction activities.

Public School Concurrency Analysis: The St. Lucie County School Board has determined that there is adequate school capacity based on the level of service standards in the City's Comprehensive Plan.

HISTORY AND RELATED PROJECTS: Per Ordinance 05-02 the original Torino Lakes PUD (fka Crescent Trace) and the concept plan were approved for 148 townhomes, and commercial uses with recreation areas, lakes, etc. On August 9, 2010, the City Council approved the Site Plan (P07-098) for Torino Lakes for 148 town homes. Per Senate Bill 2156, Section 494, the applicant applied for an extension of the expiration date of the project and therefore the site plan is still valid.

Per Resolution 10-R14, a boundary plat for Torino Lakes was approved. Per Resolution 10-R55, a preliminary plat for the townhomes was approved by the City Council. A final plat was never approved or recorded.

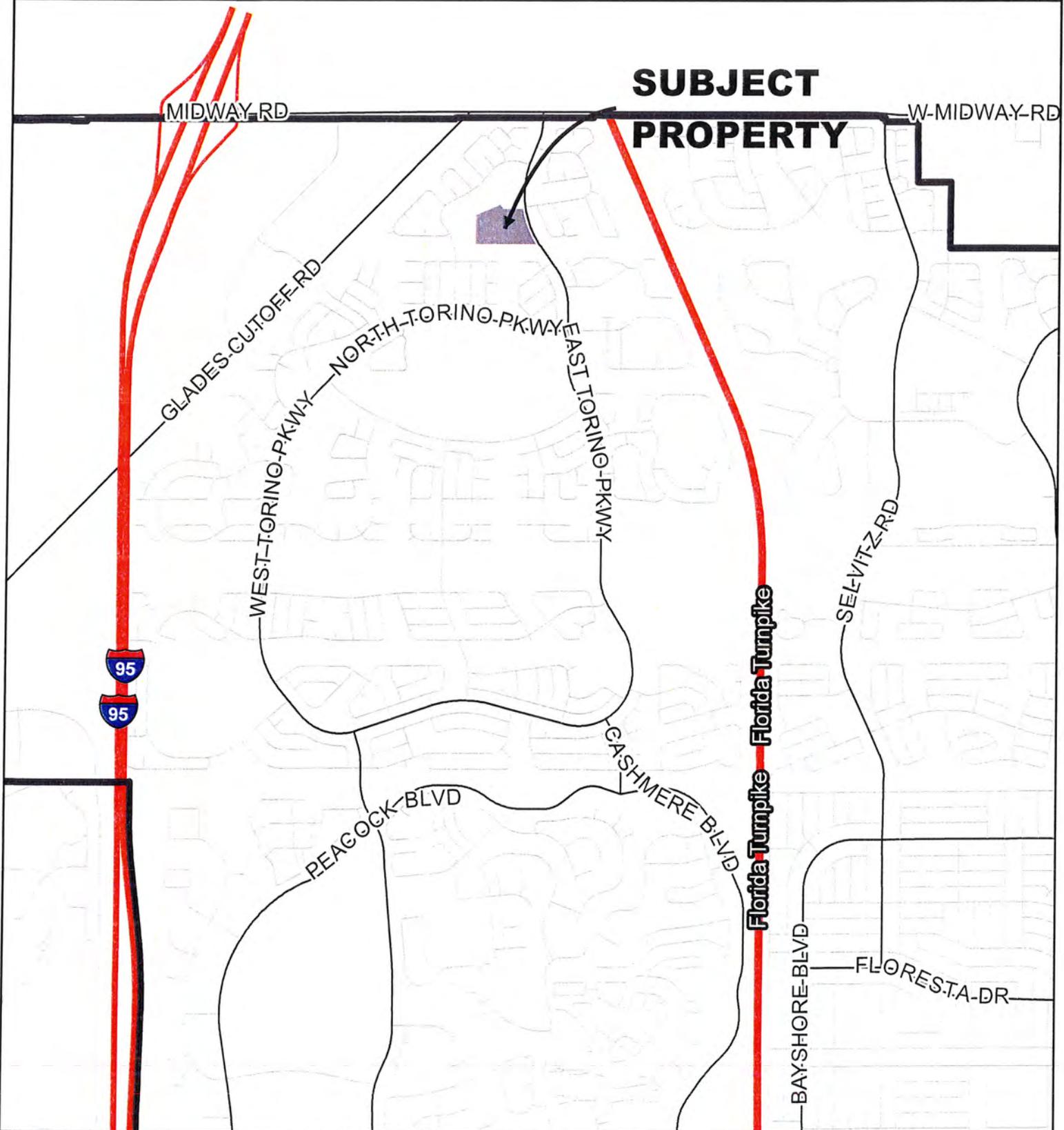
Per Ordinance 16-52, a Comprehensive Plan Amendment (P16-072) was approved by the City Council on August 8, 2016 to change approximately 1.19 acres from a future land use designation of RM (Medium Density Residential) and ROI (Residential/Office/Institutional) to CG (General Commercial).

Per Ordinance 16-77, a PUD amendment (P16-97) was approved by the City Council on November 14, 2016 for some changes to the conceptual site plan with new design and layout of the buildings, and minor changes to the PUD document.

STAFF RECOMMENDATION:

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the approved zoning, policies of the City's Comprehensive Plan, and City's Subdivision Code. The Site Plan Review Committee reviewed the request on July 13, 2016 and recommended approval.

GENERAL LOCATION



**SUBJECT
PROPERTY**

	CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.	PRELIMINARY & FINAL SUBDIVISION PLAT TORINO LAKES	DATE: 8/24/2016
			APPLICATION NUMBER: P16-098
			USER: patricias
			SCALE: 1 in = 0.5 miles

AERIAL



**SUBJECT
PROPERTY**



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PRELIMINARY & FINAL SUBDIVISION PLAT
TORINO LAKES

AERIAL DATE 2014

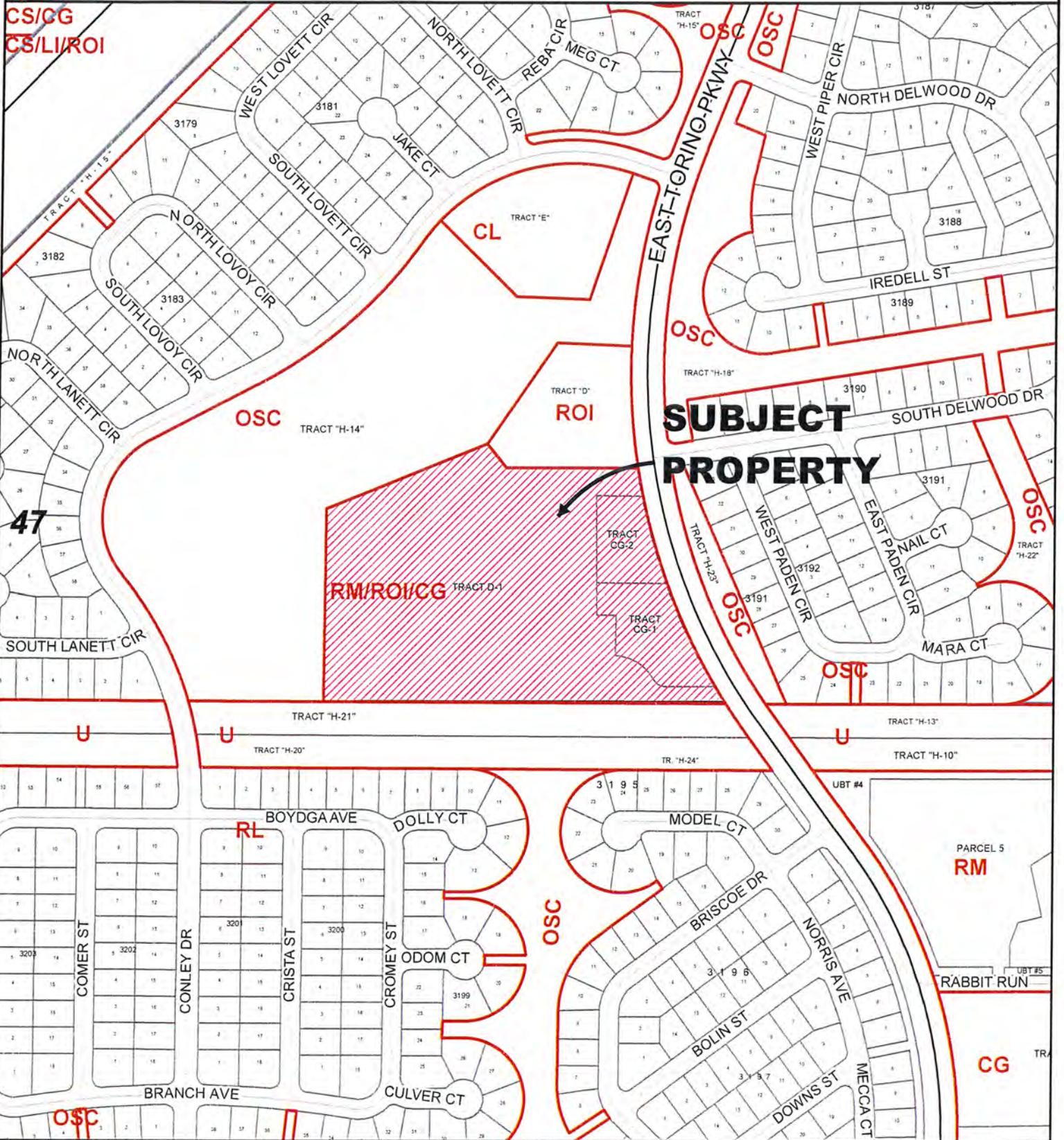
DATE: 8/24/2016

APPLICATION NUMBER:
P16-098

USER:
patricias

SCALE:
1 in = 350 ft

FUTURE LAND USE



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PRELIMINARY & FINAL SUBDIVISION PLAT
TORINO LAKES

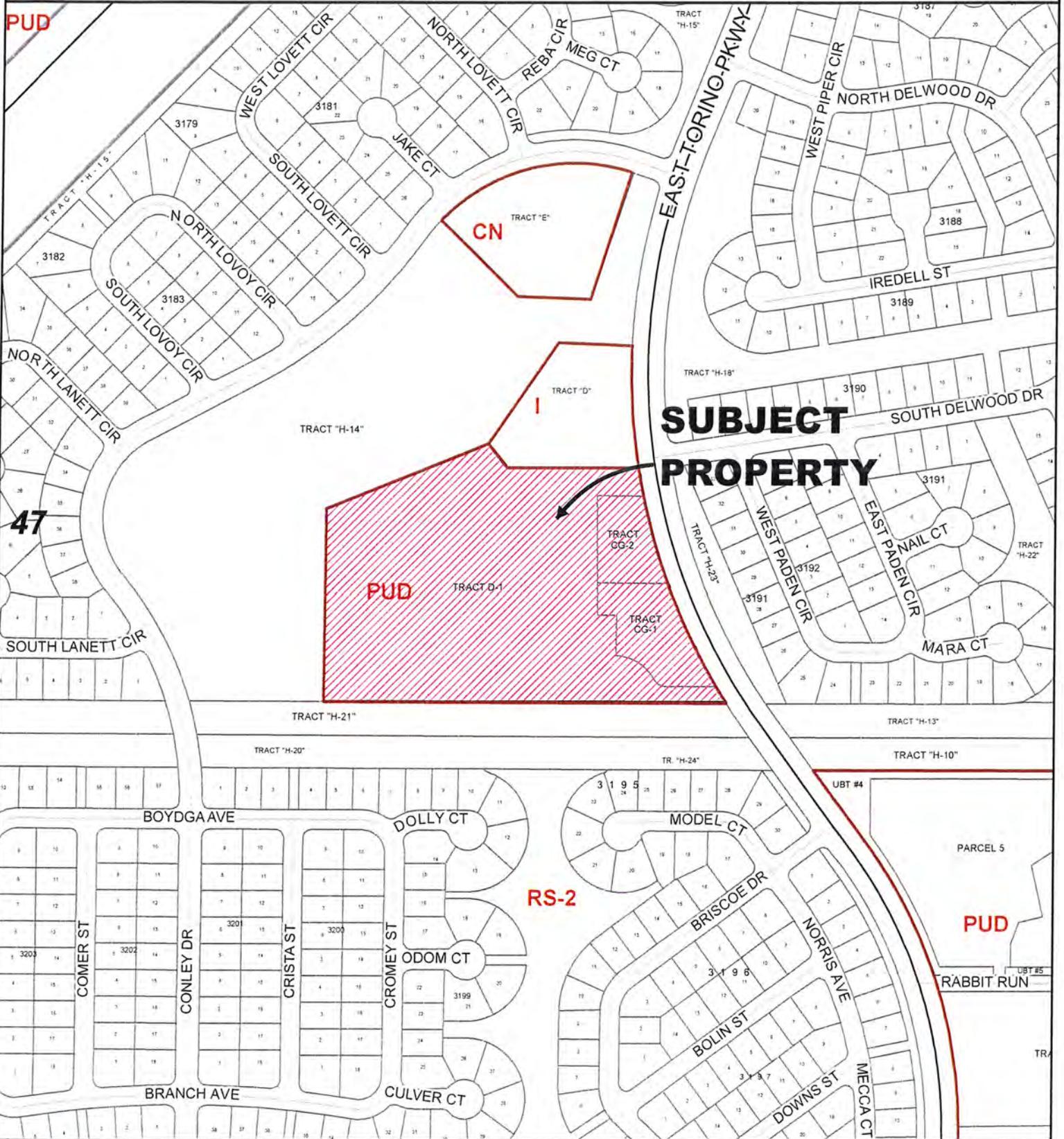
DATE: 8/24/2016

APPLICATION NUMBER:
P16-098

USER:
patricias

SCALE:
1 in = 400 ft

EXISTING ZONING



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PRELIMINARY & FINAL SUBDIVISION PLAT
TORINO LAKES

DATE: 8/24/2016
APPLICATION NUMBER: P16-098
USER: patricias
SCALE: 1 in = 400 ft

BDIVISION PLAT APPLICATION

ONLY COMPLETE SUBMISSIONS WILL BE PROCESSED

CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPARTMENT
(772)871-5212 FAX: (772)871-5124

P&Z File No. P16-098
Fee (Nonrefundable)\$ 3,535.00
Receipt # 98374

.....
PRIMARY CONTACT EMAIL ADDRESS: Gatorrr@msn.com

PROJECT NAME: Torino Lakes

LEGAL DESCRIPTION: Torino Lakes - Tract D-1

LOCATION OF PROJECT SITE: East Torino Parkway & Midway Road

PROPERTY TAX I.D. NUMBER: 3301-703-0003-000-2

CIRCLE ONE: **PRELIMINARY** **FINAL** **PRELIMINARY & FINAL**

PROPOSED USE: Multi-family housing

GROSS SQ. FT. OF STRUCTURE(S): N/A

NUMBER OF DWELLING UNITS & DENSITY
FOR MULTI-FAMILY PROJECTS: 148

UTILITIES & SUPPLIER: city of Port St. Lucie

GROSS ACREAGE & SQ. FT. OF SITE: 14.24 Ac.

FUTURE LAND USE DESIGNATION: RM-11/PUD ZONING DISTRICT: RM -11-PS

OWNER(S) OF PROPERTY: Rich Torino, LLC
NAME, ADDRESS, TELEPHONE & FAX NO. 998 Town Place Blvd., Port St. Lucie, FL 34952
P: 772.446.7344 rlundy@richpropertiesfl.com - Richard Lundy

APPLICANT OR AGENT OF OWNER: Richard Lundy,
NAME, ADDRESS, TELEPHONE & FAX NO. 998 Town Place Blvd., Port St. Lucie, FL 34952
P 772.446.7344 E: rlundy@richpropertiesfl.com

PROJECT ARCHITECT/ENGINEER: Richard Laventure, P.L.S. - Laventure & Associates, Inc.
(FIRM, ENGINEER OF RECORD) 774 W. Midway Rd., Fort Pierce, FL 34982

FLORIDA REGISTRATION NO., CONTACT PLS 5209
PERSON, ADDRESS, PHONE & FAX No.) P: 772.398.6430 E: gatorrr@msn.com

RECEIVED
JUN 15 2016
PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE

- I HEREBY AUTHORIZE THE ABOVE LISTED AGENT TO REPRESENT ME. I GRANT THE PLANNING DEPARTMENT PERMISSION TO ACCESS THE PROPERTY FOR INSPECTION.

- I FULLY UNDERSTAND THAT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE COMMENCEMENT OF ANY DEVELOPMENT ALL PLANS AND DETAIL PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PURSUANT TO SUBDIVISION REGULATIONS CHAPTER 156.

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

Richard Lundy
OWNER'S SIGNATURE

Richard Lundy
HAND PRINT NAME

Owner's Agent 6/14/16
TITLE DATE

Rich Torino, LLC

998 SE Town Place Blvd
Port St. Lucie, FL 34952
PH: 772-446-7344 FX: 772-446-7628

September 14, 2015

Re: Rich Torino, LLC
dba Torino Lakes
998 SE Town Place Blvd
Port St. Lucie, FL 34952

To Whom it May Concern:

As owner of the above referenced property, I hereby designate Mr. Richard C. Lundy as Owner's Agent for the purpose of all permitting, re-zoning and construction.

Should you have any questions, please contact this office.

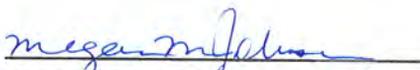
Sincerely,



Jerome L. Rich
Managing Member

State of Florida
County of St. Lucie

Subscribed and sworn to before me this 14th day of September, 2015.


Signature of Notary Public
Commissioned State of Florida



Notary Stamp

Prepared by: K&L Gates LLP (W. Harris)
214 North Tryon Street, 47th Floor
Charlotte, NC 28202

COPY

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the ____ day of December, 2014, by **REDUS FLORIDA LAND, LLC**, a Delaware limited liability company, hereinafter called the "Grantor", to **RICH TORINO, LLC**, a Florida limited liability company, whose address is 998 SE Town Place Blvd., Port St. Lucie, Florida 34952, hereinafter called the "Grantee."

WITNESSETH:

THAT Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable consideration, receipt whereof is hereby acknowledged, by these presents does hereby grant, bargain sell, alien, remise, release, convey and confirm unto Grantee, its legal representatives and assigns, all that certain real property situate in St. Lucie County, Florida, as described on Exhibit "A" attached hereto:

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining,

TO HAVE AND TO HOLD, the same in fee simple forever.

And the Grantor hereby covenants with Grantee that, except as set forth below, Grantor is lawfully seized of said property in fee simple; that the Grantor has good right and lawful authority to sell and convey said property; that said property is free from all encumbrances; that Grantee shall have peaceable and quiet possession thereof; and that Grantor hereby fully warrants the title to said property and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other.

This conveyance is subject to (i) zoning and building ordinances and land use regulations applicable to the property, (ii) such state of facts as are shown on any survey or as would be disclosed by an accurate survey of the property, (iii) the lien of taxes and assessments not yet due and payable, and (iv) all easements, restrictions and conditions of record.

COPY

IN WITNESS WHEREOF, this deed has been executed as of the date first above written.

Signed, sealed and delivered in the presence of:

REDUS FLORIDA LAND, LLC, a Delaware limited liability company

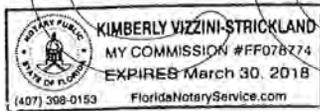
Sarah Wicker
Name Printed: SARAH WICKER
Kimberly Vizzini-Strickland
Name Printed: Kimberly Vizzini-Strickland

By: REDUS Properties, Inc., a Delaware corporation, its sole member and manager
By: *Carray Young*
Name: Carray Young
Title: Assistant Vice President

STATE OF Florida }
COUNTY OF Duval }

The foregoing instrument was acknowledged before me this 15th day of December 2014 by Carray Young, the AVP of REDUS Properties, Inc., a Delaware corporation, the sole member and manager of REDUS Florida Land, LLC, a Delaware limited liability company, on behalf of the company.

COPY
Kimberly Vizzini-Strickland
(Print Name: _____)
NOTARY PUBLIC
State of _____ at Large
Commission # _____
My Commission Expires: _____
Personally known:
Or Produce ID: _____
(check one of the above)
Type of Identification Produced: _____



COPY

Exhibit "A"

Legal Description

Tract D, Port St. Lucie, Section Forty-Seven, according to the map or plat thereof, as recorded in Plat Book 16, Page 40, 40A through 40L, of the Public Records of St. Lucie County, Florida, LESS AND EXCEPTING THE FOLLOWING: Beginning at the Northeast corner of said Tract D, said point also being on the Westerly Right-of-Way line of East Torino Parkway shown on said plat of Port St. Lucie, Section Forty-Seven; thence North $87^{\circ}54'54''$ West, along the North line of said Tract D, for 225 feet; thence South $34^{\circ}52'49''$ West along the Northwestern line of said Tract D for 370.06 feet; thence South $39^{\circ}12'30''$ East for 92.55 feet; thence due East for 401.20 feet to a point on the Westerly Right-of-Way line of said East Torino Parkway, said point also being a point on the arc of a circular curve to the right having a radial bearing of North $80^{\circ}40'26''$ East, a radius of 1,850.00 feet and a central angle of $11^{\circ}24'40''$; thence Northerly along the arc of said curve and along the Westerly Right-of-Way line of said East Torino Parkway, for 368.44 feet to the Point of Beginning. NOW DESCRIBED AS FOLLOWS: All of Torino Lakes, according to the map or plat thereof, as recorded in Plat Book 63, Page 22, of the Public Records of St. Lucie County, Florida.

Parcel Identification Number: 3301-703-0003-000/2

COPY

CH-3240012 v1
COPY

RESOLUTION NO. 17-R

A RESOLUTION APPROVING AND ACCEPTING THE PRELIMINARY AND FINAL PLAT FOR TORINO LAKES FIRST REPLAT (P16-098) WITHIN THE CITY OF PORT ST. LUCIE, FLORIDA ON THE REQUEST OF RICH TORINO, LLC; AUTHORIZING THE MAYOR AND CITY CLERK TO COUNTERSIGN SAID PLAT; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, Florida has been requested by the owner, Rich Torino, LLC, to approve and accept the preliminary and final plat with construction plans titled Torino Lakes First Replat, within the City of Port St. Lucie, Florida; and

WHEREAS, there are private improvements, i.e., roads, drainage, and utility facilities, to be constructed within the platted area; and

WHEREAS, the plat conforms to Section 156, Port St. Lucie City Code, and meets all state requirements for such plats; and

WHEREAS, the Site Plan Review Committee, on July 13, 2016, recommended approval of the preliminary and final plat (P16-098); and

WHEREAS, the Planning and Zoning Board, on December 6, 2016, recommended approval of the construction drawings and preliminary and final plat (P16-098); and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Port St. Lucie as follows:

Section 1. That the City Council hereby approves the construction plans and preliminary and final plat titled Torino Lakes First Replat (P16-098), within the City of Port St. Lucie, Florida, said plat being offered by Rich Torino, LLC, as the owner and title holder of said property and as prepared by Richard Laventure, Professional Land Surveyor of Laventure & Associates, Inc. as designated on the attached said Plat.

RESOLUTION NO. 17-R

Section 2. That the Mayor and City Clerk of the City of Port St. Lucie, Florida, are hereby authorized to countersign the said preliminary and final plat so it may be properly recorded in the public records of St. Lucie County, Florida.

Section 3. This Resolution shall take effect immediately upon its adoption.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this

_____ day of _____, 2017.

CITY COUNCIL
CITY OF PORT ST. LUCIE

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM: _____
O. Reginald Osenton, City Attorney

Thresiamma Kuruvilla

From: Thomas Mullin <TMullin@nasonyeager.com>
Sent: Thursday, November 17, 2016 12:50 PM
To: Thresiamma Kuruvilla
Subject: RE: Resolution

Hi Thres -
Approved. No changes.
Thanks.

Thomas Mullin

Attorney at Law

Email: tmullin@nasonyeager.com

Tel: 561-982-7114 | Fax: 561-982-7116

[Profile](#) [vCard](#)



750 Park of Commerce Blvd., Suite 210 | Boca Raton | FL | 33431
www.nasonyeager.com

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Think Green! Please do not print this e-mail unless absolutely necessary.

From: Thresiamma Kuruvilla [mailto:TKuruvilla@cityofpsl.com]
Sent: Thursday, November 17, 2016 11:59 AM
To: Thomas Mullin <TMullin@nasonyeager.com>
Subject: Resolution

Pl see the attached resolution for Torino Lakes Plat (P16-98). I am planning this for Dec 6 P&Z B.
Thanks, Thres

This email has been scanned for email related threats and delivered safely by Mimecast.
For more information please visit <http://www.mimecast.com>

TORINO LAKES - FIRST REPLAT

A REPLAT OF TRACTS D-1, CG-1 AND CG-2, OF THE PLAT OF TORINO LAKES, AS RECORDED
 IN PLAT BOOK 63, PAGE 22 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 LYING IN SECTION 1, TOWNSHIP 36 SOUTH, RANGE 39 EAST
 CITY OF PORT ST. LUCIE, FLORIDA
 ST. LUCIE COUNTY, FLORIDA

LEGAL DESCRIPTION:

TRACTS "D-1", "CG-1" AND "CG-2" OF THE PLAT OF TORINO LAKES, AS RECORDED IN PLAT BOOK 63, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL CONTAINS 16.96 ACRES, MORE OR LESS.

DEDICATION:

STATE OF FLORIDA:
 COUNTY OF _____

KNOW ALL MEN BY THESE PRESENTS, RICH TORINO LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNERS OF THE LANDS SHOWN AND DESCRIBED HEREON HAVE CAUSED THE SAME TO BE SURVEYED, AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE THE LANDS AS FOLLOWS:

1. ALL STREETS SHOWN HEREON, ARE HEREBY DEDICATED TO THE TORINO LAKES HOMEOWNER'S ASSOCIATION, INC. FOR PRIVATE INGRESS, EGRESS, UTILITY AND DRAINAGE PURPOSES WITH SAID STREETS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION. ACCESS IS ALSO HEREBY PROVIDED TO ALL PORT ST. LUCIE SERVICE VEHICLES AND ALL EMERGENCY VEHICLES.

2. ALL PSLUSD EASEMENTS (U.E.), AS SHOWN HEREON, ARE UTILITY EASEMENTS, WHICH ARE HEREBY DEDICATED TO THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, FOR ACCESS TO, AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES' FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT FACILITIES. THERE SHALL BE NO OTHER PUBLIC OR PRIVATE UTILITY FACILITIES INSTALLED IN, ON, OVER, UNDER, OR ACROSS THE EASEMENT AREAS WITHOUT THE CITY'S WRITTEN PERMISSION. THERE SHALL BE NO IMPROVEMENTS OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, LANDSCAPING CONSTRUCTED WITHIN THE BOUNDARIES OF THE EASEMENT AREAS WHICH WOULD RESTRICT THE OPERATION AND MAINTENANCE OF, OR WHICH MAY, IN ANY MANNER, RESULT IN HARM TO THE CITY'S FACILITIES. TORINO LAKES HOMEOWNER'S ASSOCIATION, INC., ITS SUCCESSORS OR ASSIGNS, SHALL OWN, MAINTAIN, REPAIR AND REPLACE ANY PERMITTED IMPROVEMENTS OVER THE UTILITY EASEMENT, WHICH ARE NOT PRECLUDED BY THE FOREGOING, WHICH MAY BE DAMAGED OR DESTROYED BY THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, DESIGNEES OR CONTRACTORS IN THE OPERATION, MAINTENANCE OF, OR ACCESS TO, THE CITY'S FACILITIES. THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, SHALL HAVE THE RIGHT TO REQUIRE THE REMOVAL OF ANY IMPROVEMENTS WHICH ARE CONSTRUCTED IN VIOLATION OF THE CONDITIONS SET FORTH ABOVE. IN THE EVENT SUCH VIOLATING IMPROVEMENTS ARE NOT REMOVED UPON REQUEST, THEY SHALL BE SUBJECT TO REMOVAL BY THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, DESIGNEES OR CONTRACTORS WITHOUT LIABILITY OR RESPONSIBILITY THEREFOR.

3. PUBLIC UTILITY EASEMENTS (P.U.E.): THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED TO THE PUBLIC FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES SUCH AS FLORIDA POWER & LIGHT COMPANY, BELLSOUTH AND ALL OTHER PUBLIC UTILITIES, INCLUDING CABLE TELEVISION, FOR UTILITY PURPOSES AND IS THE MAINTENANCE RESPONSIBILITY OF THE UNDERLYING OWNER. SAID EASEMENT AS SHOWN HEREON IS ALSO DEDICATED IN FAVOR OF THE CITY OF PORT ST. LUCIE, ITS SUCCESSORS AND/OR ASSIGNS, FOR ACCESS TO, AND INSTALLATION AND MAINTENANCE OF, PUBLIC UTILITY FACILITIES, INCLUDING BUT NOT LIMITED TO, WATER AND WASTEWATER LINES AND APPURTENANT FACILITIES. THE CITY OF PORT ST. LUCIE SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE OBLIGATIONS FOR SAID EASEMENTS EXCEPT AS SHALL RELATE TO THE SERVICING OF SUCH PUBLIC UTILITIES BY THE CITY OF PORT ST. LUCIE.

4. TRACTS A-1 THROUGH A-4 SHOWN HEREON ARE HEREBY DEDICATED TO THE TORINO LAKES HOMEOWNER'S ASSOCIATION, INC. FOR RECREATION AND DRAINAGE PURPOSES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION.

5. THE UPLAND PRESERVE EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE TORINO LAKES HOMEOWNER'S ASSOCIATION, INC. FOR THE PRESERVATION OF EXISTING VEGETATION, WITH SAID EASEMENTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, INC.

6. THE LANDSCAPE BUFFER EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE TORINO LAKES HOMEOWNER'S ASSOCIATION, INC. FOR LANDSCAPING PURPOSES, WITH SAID EASEMENTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, INC.

7. THE ACCESS EASEMENTS SHOWN HEREON, ARE HEREBY DEDICATED TO THE OWNERS OF TRACTS C-1 AND C-2 IN PERPETUITY FOR ACCESS, UTILITY AND DRAINAGE PURPOSES WITH SAID EASEMENTS BEING THE PERPETUAL MAINTENANCE OBLIGATION OF THE TORINO LAKES HOMEOWNER'S ASSOCIATION. ACCESS IS ALSO HEREBY PROVIDED TO ALL PORT ST. LUCIE SERVICE VEHICLES AND ALL EMERGENCY VEHICLES.

8. THE DRAINAGE EASEMENT SHOWN HEREON, IS HEREBY DEDICATED TO THE OWNERS OF TRACTS C-1 AND C-2 IN PERPETUITY FOR DRAINAGE PURPOSES WITH SAID EASEMENT BEING THE PERPETUAL MAINTENANCE OBLIGATION OF THE TORINO LAKES HOMEOWNER'S ASSOCIATION.

RICH TORINO, LLC.

Signed and sealed this _____ day of _____
 by its Managing member.

By: _____

 Date

ACKNOWLEDGEMENT:

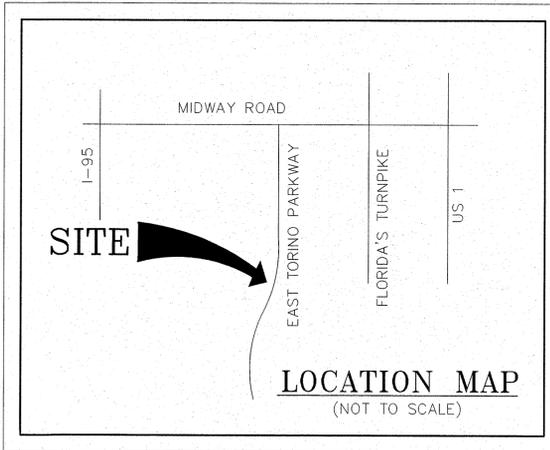
STATE OF FLORIDA:
 COUNTY OF _____

Before me personally appeared _____ to me well known and known to me to be the individual described in and who executed the foregoing dedication and he acknowledged to and before me that he executed such instrument as the Managing Member of Rich Torino, LLC, and that such execution was his free act and deed.

Witness my hand and official seal, this _____ day of _____

By: _____ My Commission Expires: _____

Notary Public (Printed Name)



TITLE CERTIFICATION:

STATE OF FLORIDA:
 COUNTY OF _____

I, _____, an attorney duly licensed in the State of Florida, do hereby certify that I have examined the title to the hereon described property and find the title to the property is vested in Rich Torino, LLC and that current taxes have been paid and that:

All recorded mortgages, not satisfied or released or record encumbering the property described hereon are:

None

Dated this _____ day of _____

By: _____ Esquire

ACCEPTANCE OF DEDICATIONS:

The Torino Lakes Homeowner's Association, Inc., a Florida Corporation, hereby accepts the dedications or reservations to said Association as stated and shown hereon.
 Dated this _____ day of _____

By: _____ Date

ACKNOWLEDGEMENT:

STATE OF FLORIDA:
 COUNTY OF _____

Before me personally appeared _____ to me well known and known to me to be the individual described in and who executed the foregoing dedication and he acknowledged to and before me that he executed such instrument as the President of the Torino Lakes Homeowner's Association, Inc., a Florida Corporation, and that such execution was his free act and deed.

Witness my hand and official seal, this _____ day of _____

By: _____ My Commission Expires: _____

Notary Public (Printed Name)

CLERK OF CIRCUIT COURT:

STATE OF FLORIDA:
 COUNTY OF ST. LUCIE:

I, _____, Clerk of Circuit Court of St. Lucie County, Florida, do hereby certify that this plat has been examined and that it complies in form with all of the requirements of the laws of Florida pertaining to Maps and Plats, and that this plat has been filed for Public Record in Plat Book _____ Pages _____ of the Public Records of St. Lucie County, Florida, this _____ day of _____

SEAL By: _____
 CLERK OF THE Clerk of Circuit Court
 CIRCUIT COURT St. Lucie County, Florida

PORT ST. LUCIE CITY COUNCIL:

It is hereby certified that this plat of Torino Lakes - First Replat, has been officially approved for record by the City Council of Port St. Lucie, Florida, this _____ day of _____

By: Gregory J. Oravec, Mayor _____ Date

By: Karen A. Phillips, City Clerk _____ Date

SURVEYOR'S NOTES:

- The Plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the Public Records of St. Lucie County, Florida.
- The South line of Tract D-1 is assumed to bear North 89°51'41" West, per plat and as monumented, and all other bearings shown hereon are relative thereto.
- This Plat contains 16.96 acres, more or less.
- This Plat contains 148 lots and 2 developable commercial tracts (C-1 & C-2).
- A 5/8" iron rod and cap stamped LB 7056 has been set or will be set at all lot corners and changes in direction, in compliance with Chapter 177, Part 1 of the Florida Statutes.
- No buildings or other obstructions shall be placed on Utility or Drainage Easements.
- This plat has been reviewed by a Florida Professional Surveyor and Mapper, under contract with or employed by the City of Port St. Lucie, and conforms with the Platting standards of Chapter 177, Part 1, Florida Statutes.
- All lot lines are radial unless otherwise noted.

SURVEYOR'S CERTIFICATE:

STATE OF FLORIDA
 COUNTY OF ST. LUCIE

I, RICHARD C. LAVENTURE, DO HEREBY CERTIFY THAT THIS PLAT OF TORINO LAKES - FIRST REPLAT, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT PERMANENT REFERENCE MONUMENTS AND ALL MONUMENTATION HAS BEEN PLACED AS REQUIRED BY LAW AND THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF THE CITY OF PORT ST. LUCIE, FLORIDA.

DATED THIS _____ DAY OF _____, _____

RICHARD C. LAVENTURE
 PROFESSIONAL LAND SURVEYOR
 FLORIDA CERTIFICATE NO. 5209

PREPARED BY:

LAVENTURE & ASSOCIATES, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 774 WEST MIDWAY ROAD
 FORT PIERCE, FLORIDA 34982
 (772) 398-6430 Phone (772) 398-6426 Fax
 FLORIDA LICENSED BUSINESS # 7056

RICHARD C. LAVENTURE
 FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

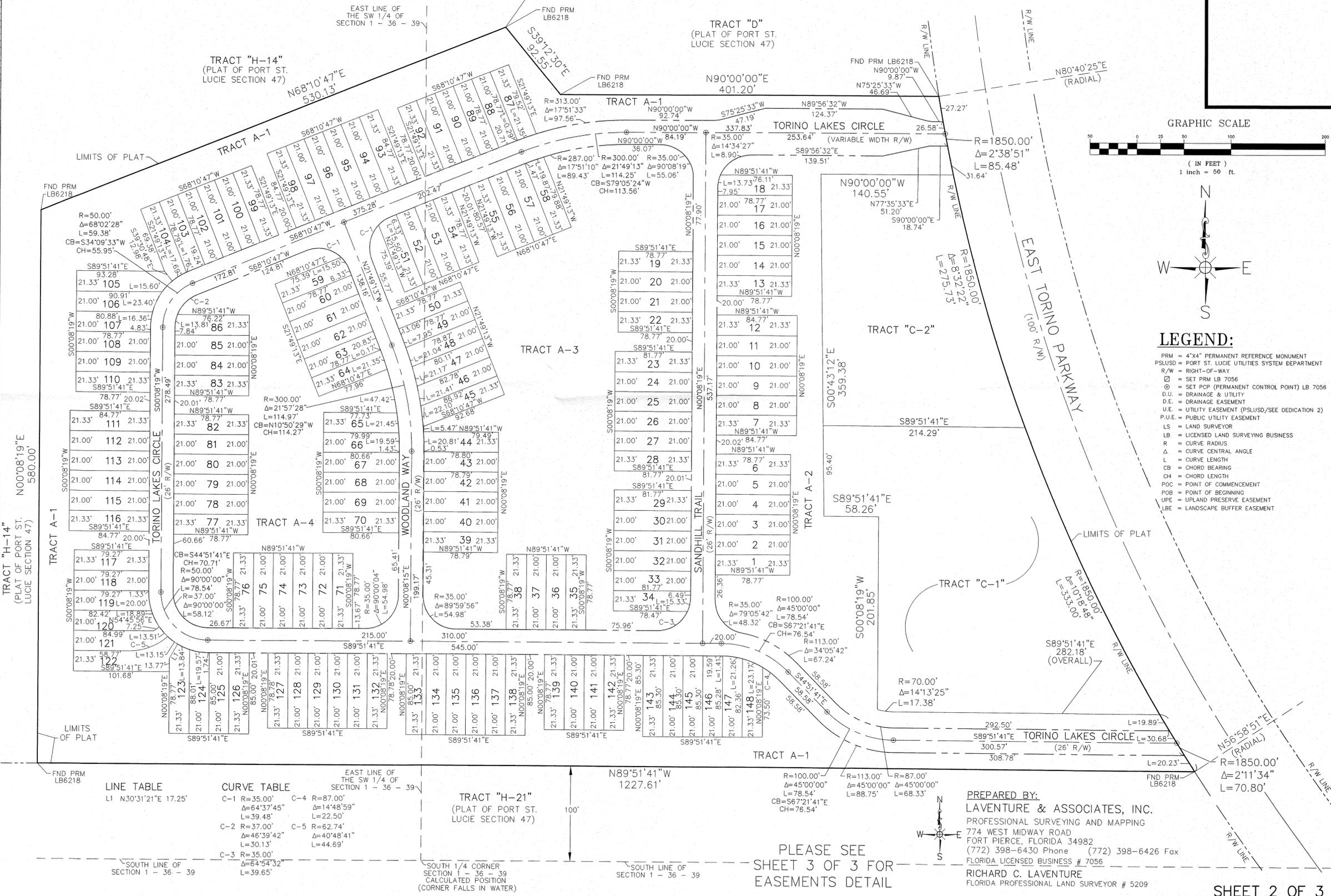
CITY OF PSL PROJECT P16-098

SHEET 1 OF 3

TORINO LAKES - FIRST REPLAT

A REPLAT OF TRACTS D-1, CG-1 AND CG-2, OF THE PLAT OF TORINO LAKES, AS RECORDED IN PLAT BOOK 63, PAGE 22 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. LYING IN SECTION 1, TOWNSHIP 36 SOUTH, RANGE 39 EAST CITY OF PORT ST. LUCIE, FLORIDA ST. LUCIE COUNTY, FLORIDA

AREA TABLE		
BUILDING NUMBER	LOT NUMBER	AREA SQUARE FEET
6	1	1680/0.04
6	2	1654/0.04
6	3	1654/0.04
6	4	1654/0.04
6	5	1654/0.04
6	6	1680/0.04
6	7	1680/0.04
6	8	1780/0.04
4	9	1780/0.04
4	10	1780/0.04
4	11	1780/0.04
4	12	1808/0.04
4	13	1880/0.04
2	14	1654/0.04
2	15	1654/0.04
2	16	1654/0.04
2	17	1654/0.04
2	18	1654/0.04
2	19	1654/0.04
2	20	1654/0.04
1	21	1654/0.04
1	22	1680/0.04
3	23	1744/0.04
3	24	1717/0.04
3	25	1717/0.04
3	26	1717/0.04
3	27	1717/0.04
3	28	1744/0.04
3	29	1744/0.04
3	30	1717/0.04
3	31	1717/0.04
3	32	1717/0.04
3	33	1717/0.04
3	34	1728/0.04
3	35	1654/0.04
3	36	1654/0.04
3	37	1654/0.04
3	38	1680/0.04
3	39	1654/0.04
3	40	1654/0.04
3	41	1654/0.04
3	42	1654/0.04
3	43	1654/0.04
3	44	1654/0.04
3	45	1913/0.04
3	46	1779/0.04
3	47	1708/0.04
3	48	1667/0.04
3	49	1654/0.04
3	50	1680/0.04
3	51	1654/0.04
3	52	1654/0.04
3	53	1654/0.04
3	54	1654/0.04
3	55	1719/0.04
3	56	1680/0.04
3	57	1692/0.04
3	58	1714/0.04
3	59	1664/0.04
3	60	1654/0.04
3	61	1654/0.04
3	62	1654/0.04
3	63	1654/0.04
3	64	1654/0.04
3	65	1694/0.04
3	66	1694/0.04
3	67	1694/0.04
3	68	1694/0.04
3	69	1694/0.04
3	70	1720/0.04
3	71	1680/0.04
3	72	1654/0.04
3	73	1654/0.04
3	74	1654/0.04
3	75	1654/0.04
3	76	1680/0.04
3	77	1680/0.04
3	78	1654/0.04
3	79	1654/0.04
3	80	1654/0.04
3	81	1654/0.04
3	82	1680/0.04
3	83	1680/0.04
3	84	1654/0.04
3	85	1654/0.04
3	86	1694/0.04
3	87	1686/0.04
3	88	1654/0.04
3	89	1654/0.04
3	90	1654/0.04
3	91	1654/0.04
3	92	1680/0.04
3	93	1808/0.04
3	94	1808/0.04
3	95	1780/0.04
3	96	1780/0.04
3	97	1780/0.04
3	98	1808/0.04
3	99	1680/0.04
3	100	1654/0.04
3	101	1654/0.04
3	102	1654/0.04
3	103	1654/0.04
3	104	1686/0.04
3	105	2060/0.05
3	106	1787/0.04
3	107	1654/0.04
3	108	1654/0.04
3	109	1654/0.04
3	110	1680/0.04
3	111	1808/0.04
3	112	1780/0.04
3	113	1780/0.04
3	114	1780/0.04
3	115	1808/0.04
3	116	1691/0.04
3	117	1665/0.04
3	118	1680/0.04
3	119	1680/0.04
3	120	1680/0.04
3	121	1903/0.04
3	122	2480/0.06
3	123	1894/0.04
3	124	1894/0.04
3	125	1894/0.04
3	126	1894/0.04
3	127	1894/0.04
3	128	1894/0.04
3	129	1894/0.04
3	130	1894/0.04
3	131	1894/0.04
3	132	1894/0.04
3	133	1813/0.04
3	134	1785/0.04
3	135	1785/0.04
3	136	1785/0.04
3	137	1785/0.04
3	138	1785/0.04
3	139	1785/0.04
3	140	1680/0.04
3	141	1680/0.04
3	142	1680/0.04
3	143	1819/0.04
3	144	1791/0.04
3	145	1791/0.04
3	146	1791/0.04
3	147	1769/0.04
3	148	1674/0.04



LINE TABLE		CURVE TABLE	
L1	N30°31'21"E 17.25'	C-1	R=35.00'
		C-2	R=37.00'
		C-3	R=35.00'
		C-4	R=87.00'
		C-5	R=62.74'
			L=44.69'

- LEGEND:**
- PRM = 4"x4" PERMANENT REFERENCE MONUMENT
 - PSLUSD = PORT ST. LUCIE UTILITIES SYSTEM DEPARTMENT
 - R/W = RIGHT-OF-WAY
 - ⊙ = SET PRM LB 7056
 - ⊙ = SET PCP (PERMANENT CONTROL POINT) LB 7056
 - D.U. = DRAINAGE & UTILITY
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT (PSLUSD/SEE DEDICATION 2)
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - LS = LAND SURVEYOR
 - LB = LICENSED LAND SURVEYING BUSINESS
 - R = CURVE RADIUS
 - Δ = CURVE CENTRAL ANGLE
 - L = CURVE LENGTH
 - CB = CHORD BEARING
 - CH = CHORD LENGTH
 - POB = POINT OF BEGINNING
 - POE = POINT OF ENDING
 - UPE = UPLAND PRESERVE EASEMENT
 - LBE = LANDSCAPE BUFFER EASEMENT

PREPARED BY:
LAVENTURE & ASSOCIATES, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 774 WEST MIDWAY ROAD
 FORT PIERCE, FLORIDA 34982
 (772) 398-6430 Phone (772) 398-6426 Fax
 FLORIDA LICENSED BUSINESS # 7056
 RICHARD C. LAVENTURE
 FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

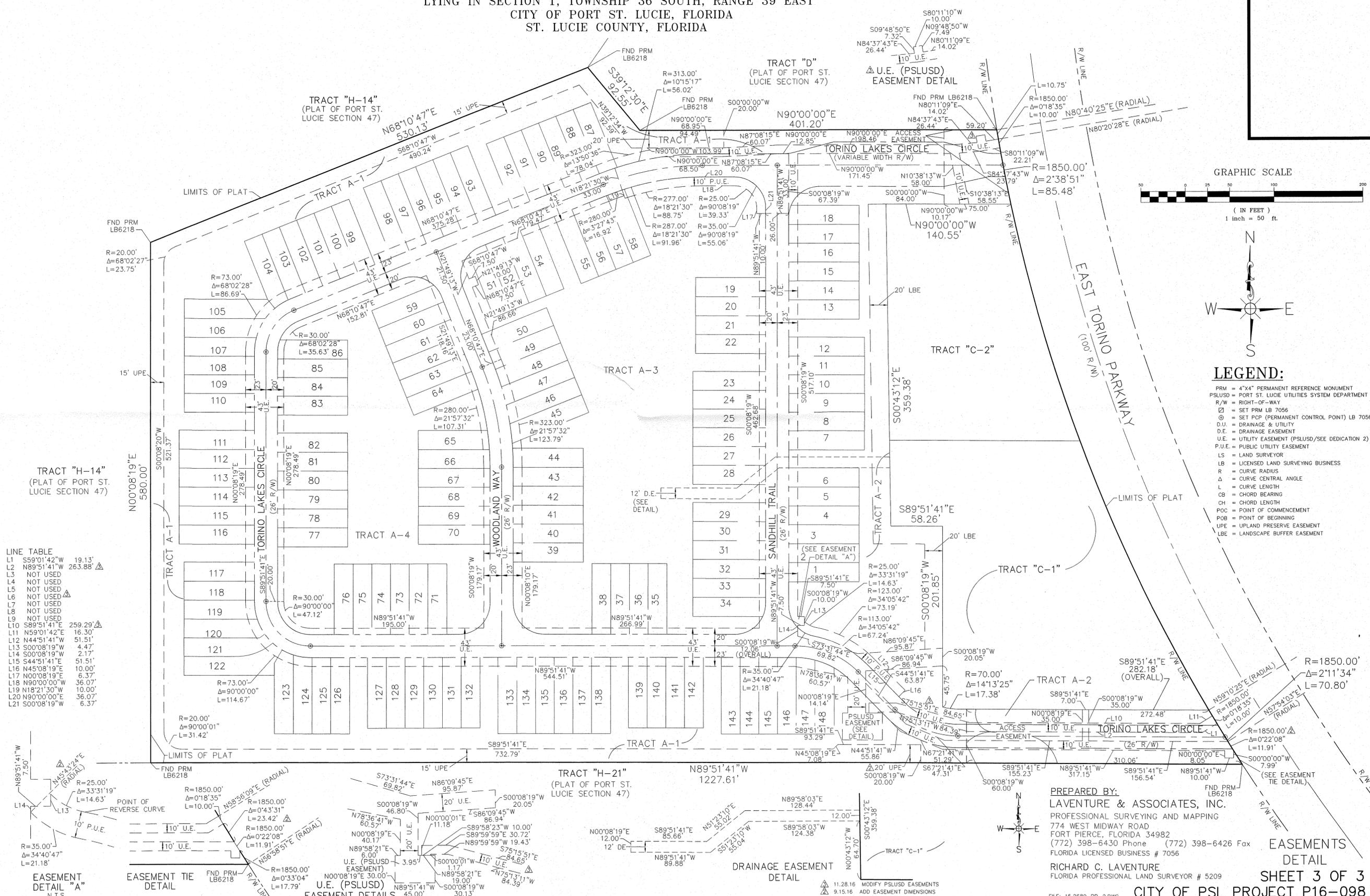
PLEASE SEE SHEET 3 OF 3 FOR EASEMENTS DETAIL

9.15.16 ADD EASEMENT DIMENSIONS
 8.15.16 REVISE DESCRIPTION & PLAT LIMITS; ADD LABELS

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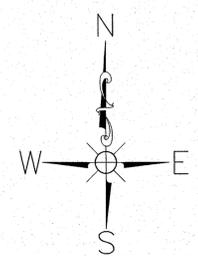
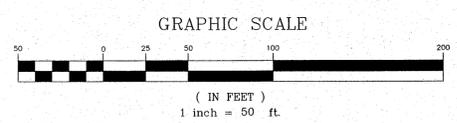
TORINO LAKES - FIRST REPLAT

A REPLAT OF TRACTS D-1, CG-1 AND CG-2, OF THE PLAT OF TORINO LAKES, AS RECORDED
 IN PLAT BOOK 63, PAGE 22 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
 LYING IN SECTION 1, TOWNSHIP 36 SOUTH, RANGE 39 EAST
 CITY OF PORT ST. LUCIE, FLORIDA
 ST. LUCIE COUNTY, FLORIDA



LINE TABLE

L1	S59°01'42"W	19.13'
L2	N89°51'41"W	263.88' Δ
L3	NOT USED	
L4	NOT USED	
L5	NOT USED	
L6	NOT USED	
L7	NOT USED	
L8	NOT USED	
L9	NOT USED	
L10	S89°51'41"E	259.29' Δ
L11	N59°01'42"E	16.30'
L12	N44°51'41"W	51.51'
L13	S00°08'19"W	4.47'
L14	S00°08'19"W	2.17'
L15	S44°51'41"E	51.51'
L16	N45°08'19"E	10.00'
L17	N00°08'19"E	6.37'
L18	N90°00'00"W	36.07'
L19	N18°21'50"W	10.00'
L20	N90°00'00"E	36.07'
L21	S00°08'19"W	6.37'



- LEGEND:**
- PRM = 4"x4" PERMANENT REFERENCE MONUMENT
 - PSLUSD = PORT ST. LUCIE UTILITIES SYSTEM DEPARTMENT
 - R/W = RIGHT-OF-WAY
 - = SET PRM LB 7056
 - ⊙ = SET PCP (PERMANENT CONTROL POINT) LB 7056
 - D.U. = DRAINAGE & UTILITY
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT (PSLUSD/SEE DEDICATION 2)
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - LS = LAND SURVEYOR
 - LB = LICENSED LAND SURVEYING BUSINESS
 - R = CURVE RADIUS
 - Δ = CURVE CENTRAL ANGLE
 - L = CURVE LENGTH
 - CB = CHORD BEARING
 - CL = CHORD LENGTH
 - POC = POINT OF COMMENCEMENT
 - POB = POINT OF BEGINNING
 - UPE = UPLAND PRESERVE EASEMENT
 - LBE = LANDSCAPE BUFFER EASEMENT

EASEMENT DETAIL "A"
N.T.S.

EASEMENT TIE DETAIL

EASEMENT DETAILS

DRAINAGE EASEMENT DETAIL

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 FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

EASEMENTS DETAIL
SHEET 3 OF 3
CITY OF PSL PROJECT P16-098

FILE: 15.2680-PP-2.DWG

- 11.28.16 MODIFY PSLUSD EASEMENTS
- 9.15.16 ADD EASEMENT DIMENSIONS
- 8.15.16 REVISE DESCRIPTION & PLAT LIMITS; ADD LABELS

6 UNIT & 4 UNIT BLDG. TREES
AS INDICATED ON PLAN

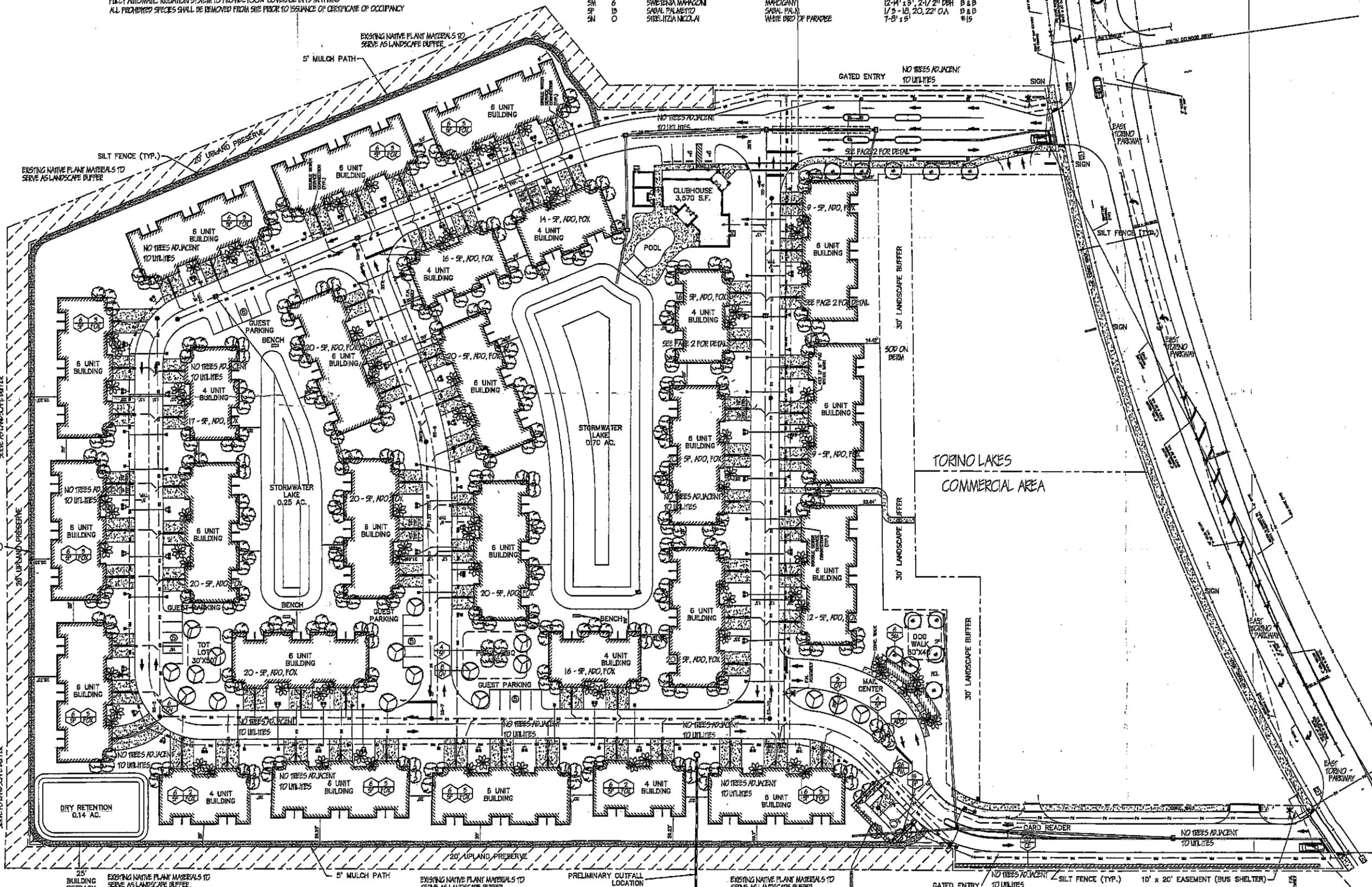
SP (SEE PLAN) SABAL PALM
FOX (SEE PLAN) WYDOTIA PUFERCA
ADD (SEE PLAN) APONDIA NERELLI

SABAL PALM 1/5 - 18, 20, 22' O.A. P & B
FOX PALM 1/3 - 7, 9, 11' O.A. P & B
CHRISTMAS PALM 1/3 - 7, 9, 11' O.A. P & B

ALL LANDSCAPE MATERIAL TO BE FLA #1 OR BETTER
BAMA SOP AS REQUIRED - 50P ALL DISTURBED AREAS
MULCH OR EUCALYPTUS MULCH (NO CYPRESS) AS REQUIRED TO 3" THICKNESS MINIMUM IN ALL PLANT BEDS
FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE IN 15 MPH WIND
ALL PROHIBITED SPECIES SHALL BE REMOVED FROM SITE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

PLANT & MATERIAL SCHEDULE

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADD	7	APONDIA NERELLI	CHRISTMAS PALM	8-10' O.A.	P & B
CE	85	CONOCARPUS ERECTUS	GREEN BURNINGWOOD	24" x 18"	#5
CI	0	CITRUS LIME	COCO LIME	24" x 18"	#5
FS	0	FORSYTHIA SERRATA	FLORIDA PRIVET	24" x 18"	#5
PN	26	PODOCARPUS NUCIFOLIA	JAPANESE VEW	24" x 18"	#5
CV	17	QUERCUS VIRGINIANA	LIVE OAK	12-14' x 5', 2-1/2" DBH	P & B
SNV	0	SCHIFFERIA ARBOREOLA 'VARG'	VAREGATED DWARF SCHEFFERA	24" x 18"	#5
SM	6	SWESTERIA MARIAGONI	MARIAGANNY	12-14' x 5', 2-1/2" DBH	P & B
SP	6	SABAL PALMETTO	SABAL PALM	1/3 - 18, 20, 22' O.A.	P & B
SN	0	STRUTHIOLOLA	WHITE BIRD OF PARADISE	7-8' x 5'	#15



Date	Issued
9/18/2015	

William A. Flint, III
Landscape Architect
Suwanee, FL
772.220.0424
FLA. Reg. #941
Exp. 11/22/2015

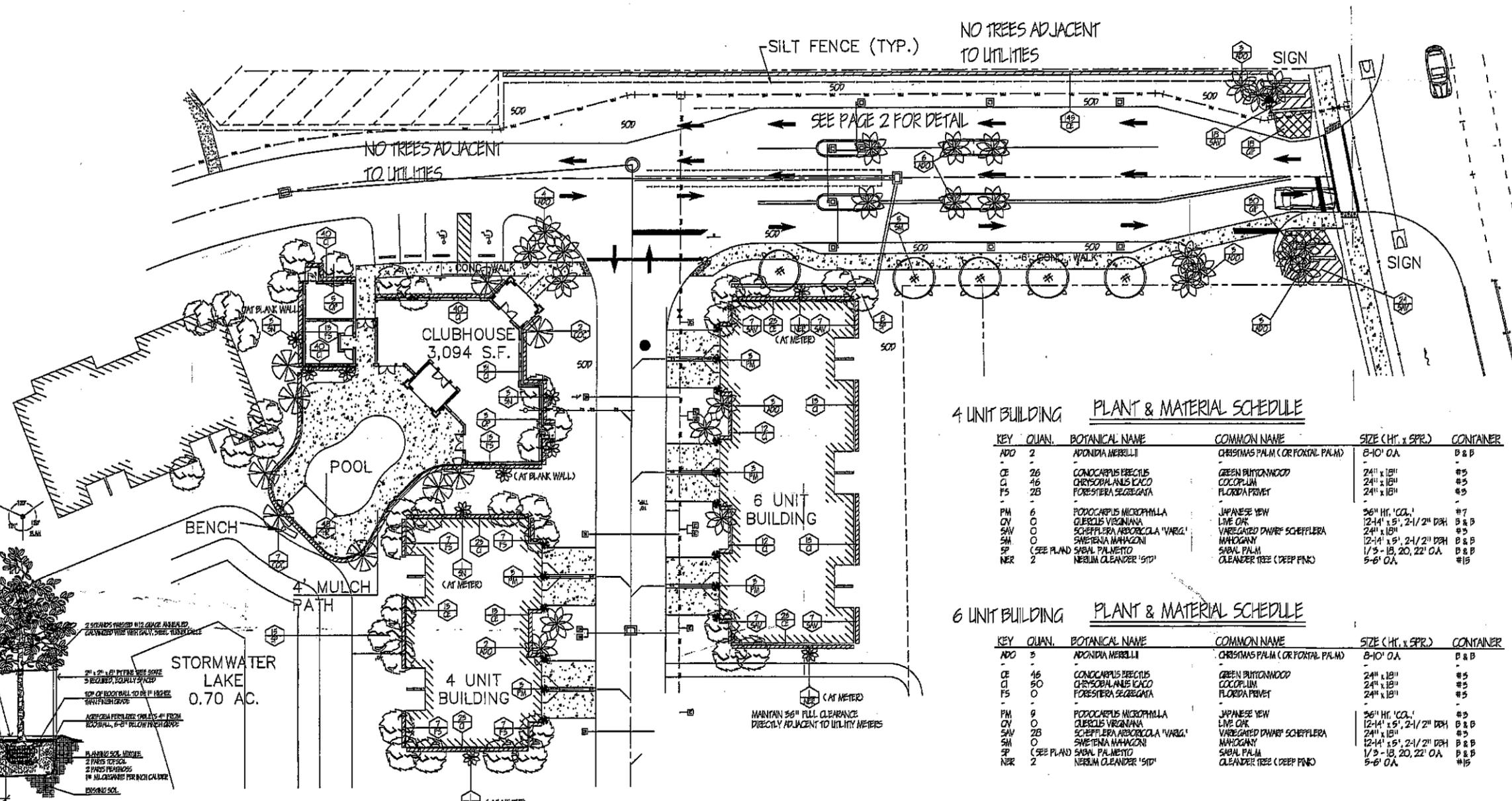
TORINO LAKES RESIDENTIAL
TORINO BLVD.
PORT ST. LUCIE, FL

DATE: 08/29/2015
DRAWN BY:
CHECKED:
SCALE: 1" = 40'
PROJECT NO.: 15-024



RECEIVED
By PSLUSD
11/08/15

A6-98



4 UNIT BUILDING PLANT & MATERIAL SCHEDULE

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADP	2	ADONIDIA MERRELLI	CHRISTMAS PALM (OR FOXTAIL PALM)	8-10' O.A.	B & B
CE	26	CONOCARPUS BREVILIS	GREEN BUNTONWOOD	24" x 18"	#5
CI	46	CHRYSORALANUS ICACO	COCCOPLUM	24" x 18"	#5
FS	28	FORESTIERA SELEGATA	FLORIDA PRIVET	24" x 18"	#5
PM	6	PODOCARPUS MICROPHALLA	JAPANESE VEW	36" HT. 'COL.'	#7
QV	0	QUERCUS VIRGINIANA	LIVE OAK	12-14" x 5", 2-1/2" DBH	B & B
SAV	0	SCHFFELERA ARBOREOLA 'VARG'	VAREGATED DWARF SCHEFFLERA	24" x 18"	#5
SM	0	SWEETENIA MAHAGONI	MAHOGANY	12-14" x 5", 2-1/2" DBH	B & B
SP	(SEE PLAN)	SABAL PALMETTO	SABAL PALM	1/3 - 15, 20, 22' O.A.	B & B
NER	2	NEROLIUM CLEANDER 'S10'	CLEANDER TREE (DEEP PINK)	5-6' O.A.	#15

6 UNIT BUILDING PLANT & MATERIAL SCHEDULE

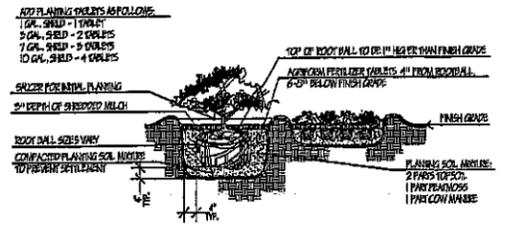
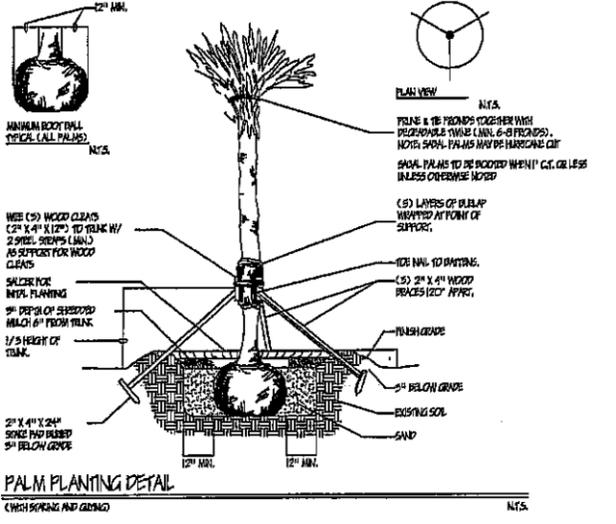
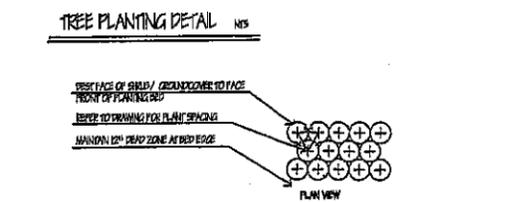
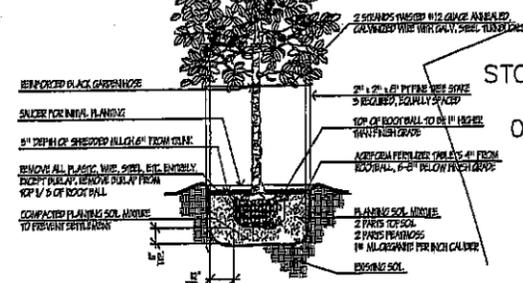
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADP	3	ADONIDIA MERRELLI	CHRISTMAS PALM (OR FOXTAIL PALM)	8-10' O.A.	B & B
CE	46	CONOCARPUS BREVILIS	GREEN BUNTONWOOD	24" x 18"	#5
CI	50	CHRYSORALANUS ICACO	COCCOPLUM	24" x 18"	#5
FS	0	FORESTIERA SELEGATA	FLORIDA PRIVET	24" x 18"	#5
PM	9	PODOCARPUS MICROPHALLA	JAPANESE VEW	36" HT. 'COL.'	#5
QV	0	QUERCUS VIRGINIANA	LIVE OAK	12-14" x 5", 2-1/2" DBH	B & B
SAV	28	SCHFFELERA ARBOREOLA 'VARG'	VAREGATED DWARF SCHEFFLERA	24" x 18"	#5
SM	0	SWEETENIA MAHAGONI	MAHOGANY	12-14" x 5", 2-1/2" DBH	B & B
SP	(SEE PLAN)	SABAL PALMETTO	SABAL PALM	1/3 - 15, 20, 22' O.A.	B & B
NER	2	NEROLIUM CLEANDER 'S10'	CLEANDER TREE (DEEP PINK)	5-6' O.A.	#15

CLUBHOUSE PLANT & MATERIAL SCHEDULE

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADP	4	ADONIDIA MERRELLI	CHRISTMAS PALM	8-10' O.A.	B & B
COC	9	COCOS PLUMOSA	COCONUT PALM	6-8' C.T.	B & B
CE	91	CONOCARPUS BREVILIS	GREEN BUNTONWOOD	24" x 18"	#5
CI	39	CHRYSORALANUS ICACO	COCCOPLUM	24" x 18"	#5
FS	26	FORESTIERA SELEGATA	FLORIDA PRIVET	24" x 18"	#5
HR	70	HIBISCUS ROSA-SINENSIS	HIBISCUS (DEEP PINK)	24" x 18"	#5
PM	9	PODOCARPUS MICROPHALLA	JAPANESE VEW	24" x 18"	#5
QV	0	QUERCUS VIRGINIANA	LIVE OAK	12-14" x 5", 2-1/2" DBH	B & B
SAV	0	SCHFFELERA ARBOREOLA 'VARG'	VAREGATED DWARF SCHEFFLERA	24" x 18"	#5
SM	0	SWEETENIA MAHAGONI	MAHOGANY	12-14" x 5", 2-1/2" DBH	B & B
CP	6	SHAGRENIA EDWARDSII	QUEEN PALM	1/3 - 15, 20, 22' O.A.	B & B
SN	6	STREPTILIZIA NICOLA	WHITE BIRD OF PARADISE	7-8' x 5'	#15

ENTRY PLANT & MATERIAL SCHEDULE

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADP	15	ADONIDIA MERRELLI	CHRISTMAS PALM	8-10' O.A.	B & B
CE	145	CONOCARPUS BREVILIS	GREEN BUNTONWOOD	24" x 18"	#5
CI	0	CHRYSORALANUS ICACO	COCCOPLUM	24" x 18"	#5
FS	0	FORESTIERA SELEGATA	FLORIDA PRIVET	24" x 18"	#5
PI	48	PICUS MICROPHALLA	GREEN ISLAND PICUS	17" x 14"	#5
PM	0	PODOCARPUS MICROPHALLA	JAPANESE VEW	24" x 18"	#5
QV	0	QUERCUS VIRGINIANA	LIVE OAK	12-14" x 5", 2-1/2" DBH	B & B
SAV	42	SCHFFELERA ARBOREOLA 'VARG'	VAREGATED DWARF SCHEFFLERA	24" x 18"	#5
SM	5	SWEETENIA MAHAGONI	MAHOGANY	12-14" x 5", 2-1/2" DBH	B & B
SP	0	SABAL PALMETTO	SABAL PALM	1/3 - 15, 20, 22' O.A.	B & B
SN	0	STREPTILIZIA NICOLA	WHITE BIRD OF PARADISE	7-8' x 5'	#15



ALL LANDSCAPE MATERIAL TO BE F.L.A. #1 OR BETTER

BANANA SCUD AS REQUIRED - 500 ALL DISTURBED AREAS

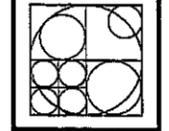
MALALEUCA OR EUCALYPTUS MULCH (NO CYPRESS) AS REQUIRED TO 3" THICKNESS MINIMUM IN ALL PLANT BEDS

FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE IN 15 MPH WIND

ALL PROHIBITED SPECIES SHALL BE REMOVED FROM SITE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

Date	Revised

William A. Flint, III
Landscape Architect
Suwanee, FL
772.220.0424
F.L.A. Reg. #941
Exp. 12/31/2015



LANDSCAPE PLAN

TORINO LAKES DETAIL AREAS
TORINO BLVD.
PORT ST. LUCIE, FL

DATE: 02/25/2015
DRAWN: WAF
CHECKED:
SCALE: 1" = 20'
PROJECT NO. 15-04



P16-98

IRRIGATION NOTES

IRRIGATION NOTES
 FULLY AUTO MATIC IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE IN 15 MPH WIND
 INSTALL BUBBLERS ON ALL TREES AND PALMS
 INSTALL DRILLINE ON ALL HEDGE MATERIALS
 INSTALL RAIN SENSOR OVER-RIDE DEVICE AT IRRIGATION TIME CLOCK
 SOIL AREAS TO BE ZONED SEPARATELY FROM TREE & SHRUB AREAS
 IRRIGATION DEVICES SHALL NOT PUT WATER ON IMPERVIOUS SURFACES
 IRRIGATION CONTRACTOR SHALL SUBMIT "AS BUILT" IRRIGATION PLAN INDICATING REVERSED ZONES AND REVERSE VALVE LOCATIONS OR OTHER NECESSARY CHANGES AT TIME OF COMPLETION
 NOTE: ANY REVERSE IRRIGATION PLAN SHALL MEET OR EXCEED THE MINIMUM COMPLIANCE SET FORTH WITHIN THE STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS PUBLISHED BY THE FLORIDA IRRIGATION SOCIETY AS AMENDED

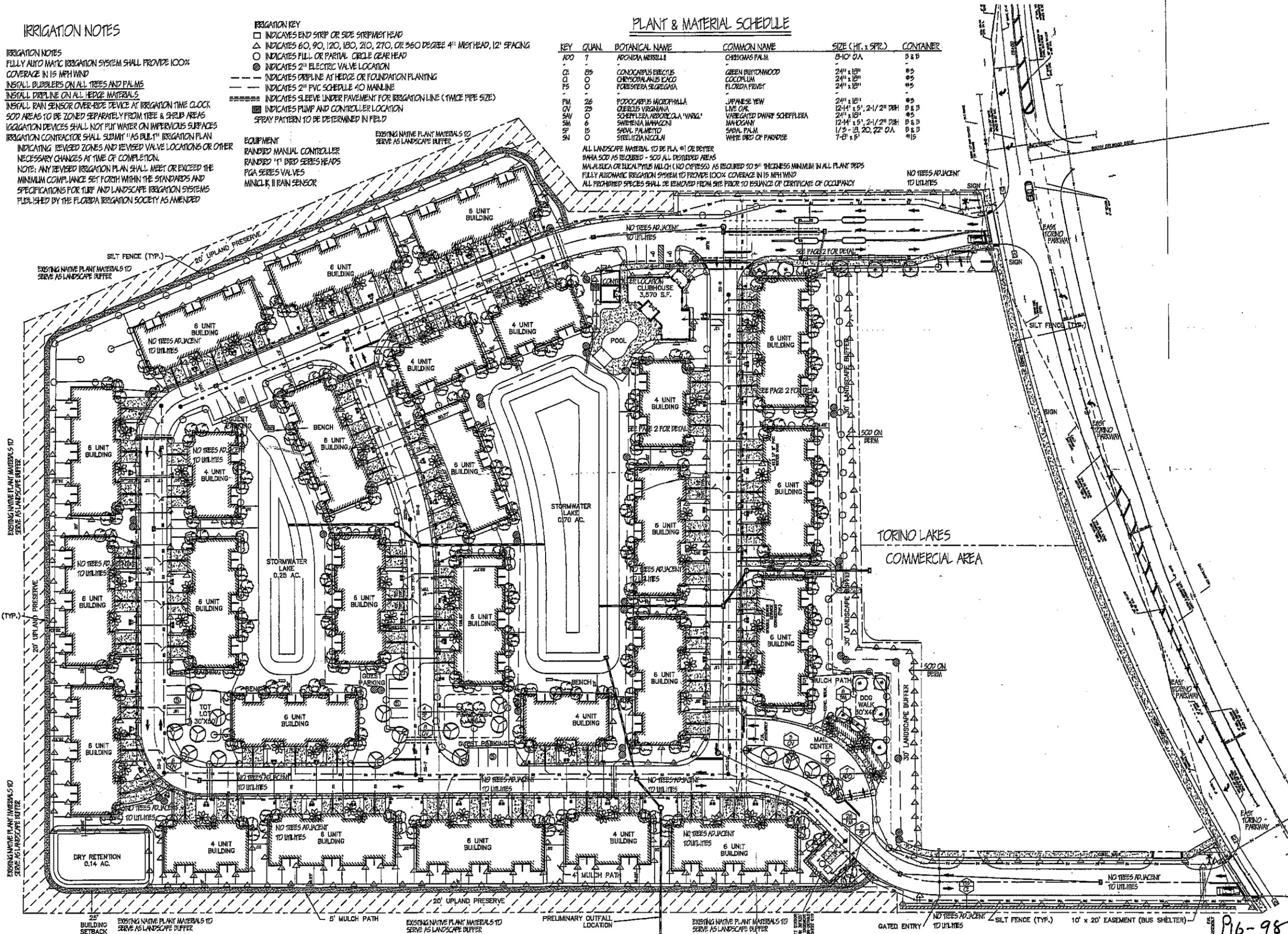
- IRRIGATION KEY**
- INDICATES END STRIP OR SIDE STRIPWET HEAD
 - △ INDICATES 60, 90, 120, 180, 210, 270, OR 360 DEGREE 4" WET HEAD, 12' SPACING
 - INDICATES FULL OR PARTIAL CIRCLE CLEAR HEAD
 - ⊙ INDICATES 2" ELECTRIC VALVE LOCATION
 - INDICATES DRILLINE AT HEDGE OR FOUNDATION PLANTING
 - INDICATES 2" PVC SCHEDULE 40 MAINLINE
 - ===== INDICATES SLEEVE UNDER PAVEMENT FOR IRRIGATION LINE (TWICE PIPE SIZE)
 - ⊞ INDICATES PUMP AND CONTROLLER LOCATION
 - SPRAY PATTERN TO BE DETERMINED IN FIELD

- EQUIPMENT**
- RAINBIRD MANUAL CONTROLLER
 - RAINBIRD 1" BIRD SERIES HEADS
 - PGA SERIES VALVES
 - MINI-K II RAIN SENSOR

PLANT & MATERIAL SCHEDULE

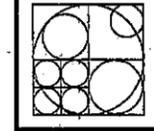
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE (HT. x SPR.)	CONTAINER
ADD	7	ADONIA MERRILLI	CHRISTMAS PALM	8-10" O.A.	P & B
CE	85	CONDICARBUS FRETUS	GREEN BUILTONWOOD	24" x 18"	#5
CI	0	CHRYSOPALANUS LEAO	COCOPALM	24" x 18"	#5
FS	0	FORESTERA SELEGNA	FLORIDA FERNET	24" x 18"	#5
PM	26	PODOCARPUS MICROPHALLA	JAPANESE YEW	24" x 18"	#5
QV	29	QUEBECUS VIRGINIANA	LIVE OAK	12-14" x 5", 2-1/2" DBH	P & B
SAV	0	SCHEFFLERA ARBOREOLA 'VARGA'	VAREGATED DWARF SCHEFFLERA	24" x 18"	#5
SW	6	SWIETENIA MAHAGONI	MAHOGANY	12-14" x 5", 2-1/2" DBH	P & B
SN	15	SABAL PALMETO	SABAL PALM	17-5" - 18", 20, 22" O.A.	P & B
SN	0	STRELTIZIA NICOLAI	WHITE BIRD OF PARADISE	7-8" x 8"	#15

ALL LANDSCAPE MATERIAL TO BE FLA #1 OR BETTER
 BANIA 500 AS REQUIRED - 500 ALL DISTURBED AREAS
 MAJULICA OR EUCALYPTUS MULCH (NO CYPRESS) AS REQUIRED TO 2" THICKNESS MINIMUM IN ALL PLANT BEDS
 FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE IN 15 MPH WIND
 ALL PROHIBITED SPECIES SHALL BE REMOVED FROM SITE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY



Plan
 9.16.2015

William A. Flint, III
 Landscape Architect
 Stuart, FL
 772.220.0424
 FLA Reg. #91
 Lic. 772.220.8915



TORINO LAKES RESIDENTIAL
 TORINO BLVD.
 PORT ST. LUCE, FL

DATE: 08.29.2015
 DRAWN BY:
 CHECKED:
 SCALE: 1" = 40'
 PROJECT NO.: 15-025

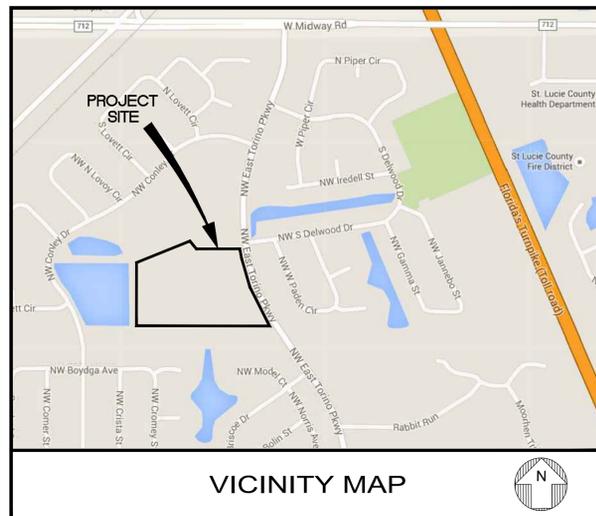


196-98

TORINO LAKES

MULTI-FAMILY DEVELOPMENT

CITY OF PORT ST. LUCIE, ST. LUCIE COUNTY, FLORIDA



VICINITY MAP



LOCATION MAP

OWNER/APPLICANT

RICH TORINO LLC
998 SE TOWN PLACE BOULEVARD
PORT ST. LUCIE, FLORIDA 34952

ENGINEER

MBV ENGINEERING, INC.
MOIA BOWLES VILLAMIZAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

1835 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
FX. (772) 778-3617

MELBOURNE, FL - PH (321) 253-1510
FT. PIERCE, FL - PH (772) 468-9055

ARCHITECT

THE WAYNE ARCHITECTURAL GROUP, P.A.

2385 NW EXECUTIVE CENTER DRIVE, SUITE 100
BOCA RATON FLORIDA 33431
PHONE (561) 241-4407

SURVEYOR

LAVENTURE AND ASSOCIATES, INC.

3306 ENTERPRISE ROAD, SUITE 201
FORT PIERCE, FLORIDA 34982
PHONE (772) 398-6430

INDEX OF DRAWINGS

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C2	GENERAL NOTES
C3	EXISTING CONDITIONS
C4	EROSION CONTROL, DEMOLITION, AND CLEARING PLAN
C5	OVERALL SITE PLAN
C6	SITE PLAN-WEST
C7	SITE PLAN-EAST
C8	PAVING, GRADING AND DRAINAGE PLAN-WEST
C9	PAVING, GRADING AND DRAINAGE PLAN-EAST
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C23	UTILITY DETAILS
C24	LIFT STATION DETAILS



AARON J BOWLES
FL P.E.#55313
DATE: NOV. 3, 2016

SHEET
C1
OF 24

SITE INFORMATION

SITE ADDRESS
NW EAST TORINO PARKWAY
PORT ST. LUCIE, FLORIDA 34986

OWNER/APPLICANT
RICH TORINO LLC
998 SE TOWN PLACE BLVD.
PORT ST. LUCIE, FLORIDA 34952

ENGINEER

MBV ENGINEERING, INC.
1835 20TH STREET
VERO BEACH, FLORIDA 32960
PHONE (772) 569-0035

ARCHITECT

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LAVENTURE & ASSOCIATES, INC.
3308 ENTERPRISE ROAD, SUITE 201
FORT PIERCE, FLORIDA 34982
PHONE (772) 398-6430

TAX PARCEL ID. NUMBER(S)

3301-703-0003-000-2, 3301-703-0001-000-8 & 3301-703-0002-000-5

ZONING RM-11-PS
LAND USE RM/RO/GOSC

MULTI-FAMILY DEVELOPMENT

EXISTING SITE DATA

Table with 4 columns: SITE AREA, TOTAL IMPERVIOUS AREA, TOTAL OPEN AREA, and values in SF and AC.

PROPOSED SITE DATA

Table with 4 columns: SITE AREA, PROPOSED BUILDING COVERAGE, 6-UNIT (6,161 SF)-20 BLDGS., 4-UNIT (4,117 SF)- 7 BLDGS., CLUBHOUSE, MAIL CENTER (2 BUILDINGS), TOTAL BUILDING COVERAGE, TOTAL PAVEMENT COVERAGE, TOTAL CONCRETE COVERAGE, TOTAL IMPERVIOUS AREA, TOTAL OPEN AREA, and values in SF and AC.

DENSITY

DENSITY: 148 UNITS / 14.24 AC = 10.39 DU / AC
= 10.39 DU / AC (PROVIDED)
= 11.00 DU / AC (ALLOWABLE PER ZONING)

PARKING DATA

PARKING REQUIRED:
148 UNITS X 2.0/UNIT + 5% GUEST = 311 SPACES

PARKING PROVIDED:
INDIVIDUAL DWELLING UNIT= 296 SPACES (INCLUDING GARAGE & DRIVEWAY SPACES)
GUEST PARKING & CLUBHOUSE= 27 SPACES (2 HC, 25 STD.)
TOTAL PARKING PROVIDED= 323 SPACES (2 HC, 321 STD.)

GENERAL COMMERCIAL - SOUTH (FUTURE USE)

EXISTING SITE DATA

Table with 4 columns: SITE AREA, TOTAL IMPERVIOUS AREA, TOTAL OPEN AREA, and values in SF and AC.

GENERAL COMMERCIAL - NORTH (FUTURE USE)

EXISTING SITE DATA

Table with 4 columns: SITE AREA, TOTAL IMPERVIOUS AREA, TOTAL OPEN AREA, and values in SF and AC.

PERMITS REQUIRED

CITY OF PORT ST. LUCIE RE-PLAT APPROVAL
CITY OF PORT ST. LUCIE LAND CLEARING PERMIT
CITY OF PORT ST. LUCIE PAVING & DRAINAGE PERMIT
CITY OF PORT ST. LUCIE GRADING & EXCAVATION PERMIT
CITY OF PORT ST. LUCIE UTILITY PERMIT
ST. LUCIE COUNTY FIRE DISTRICT PERMIT
SFWMD ENVIRONMENTAL RESOURCE PERMIT MODIFICATION

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X' PER
FLOOD INSURANCE RATE MAP #12111C0280 J, DATED FEB. 16TH, 2012.

SANITARY SEWER SOURCE

PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT

POTABLE WATER SOURCE

PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT

CONSTRUCTION SCHEDULE

Table with 3 columns: MULTI-FAMILY, COMMERCIAL, and construction dates (BEGIN CONSTRUCTION, END CONSTRUCTION).

DRAINAGE STATEMENT

THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL CONSIST OF MULTIPLE SOURCES OF WATER TREATMENT PRIOR TO ULTIMATE DISCHARGE INTO THE CITY OF PORT ST. LUCIE C104 CANAL ALONG THE SOUTHERN BOUNDARY OF THE SUBJECT PARCEL. WATER QUALITY TREATMENT AND DISCHARGE ATTENUATION WILL BE PROVIDED BY A COMBINED SYSTEM INCLUDING EXFILTRATION TRENCH, (3) DRY RETENTION PONDS, GRASS SWALE CONVEYANCE, AND A WET DETENTION POND.

THE COMMERCIAL OUTPARCELS, UPON DEVELOPMENT, WILL BE SERVED BY A DRY RETENTION POND SYSTEM PRIOR TO DISCHARGE INTO THE PUD MASTER SYSTEM AND ULTIMATE OUTFLOW INTO THE AFOREMENTIONED C&PSL CANAL.

LEGAL DESCRIPTION

TRACT D, PORT ST. LUCIE, SECTION FORTY SEVEN, RECORDED IN PLAT BOOK 16, PAGES 40, 40A THROUGH 40L, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPTING THE FOLLOWING:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT D, SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF EAST TORINO PARKWAY SHOWN ON SAID PLAT OF PORT ST. LUCIE, SECTION FORTY SEVEN; THENCE NORTH 87 DEGREES 54 MINUTES 54 SECONDS WEST, ALONG THE NORTH LINE OF SAID TRACT D, FOR 225.00 FEET; THENCE SOUTH 34 DEGREES 52 MINUTES 49 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID TRACT D, FOR 370.00 FEET; THENCE SOUTH 39 DEGREES 12 MINUTES 30 SECONDS EAST FOR 92.55 FEET; THENCE DUE EAST FOR 401.20 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID EAST TORINO PARKWAY; SAID POINT ALSO BEING A POINT ON THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIAL BEARING OF NORTH 80 DEGREES 40 MINUTES 26 SECONDS EAST, A RADIUS OF 1890.00 FEET AND A CENTRAL ANGLE OF 11 DEGREES 24 MINUTES 40 SECONDS; THENCE NORTHERLY, ALONG THE ARC OF SAID CURVE AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID EAST TORINO PARKWAY, FOR 368.44 FEET, TO THE POINT OF BEGINNING.

TRAFFIC STATEMENT

*PER ITE TRIP GENERATION MANUAL 9TH EDITION

MULTI-FAMILY DEVELOPMENT
ITE LAND USE: (230) RESIDENTIAL CONDOMINIUM / TOWNHOUSE
INDEPENDENT VARIABLE: DWELLING UNIT (DU)

DAILY TRIP GENERATION
148 DWELLING UNITS = 5.81 DAILY TRIPS / DU = 860 DAILY TRIPS

AM PEAK HOUR GENERATOR
148 DWELLING UNITS = 0.44 AM PEAK / DU = 65 AM PEAK HOUR TRIPS (11 IN, 54 OUT)

PM PEAK HOUR GENERATOR
148 DWELLING UNITS = 0.52 PM PEAK / DU = 77 PM PEAK HOUR TRIPS (52 IN, 25 OUT)

GENERAL NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
2. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS BEFORE COMMENCING WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
5. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
6. ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR ANY INSPECTION.
7. MINIMUM COVER OF ALL UTILITIES SHALL BE 36" UNLESS STATED OTHERWISE.
8. ALL UNDISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS NOTED OTHERWISE.
9. ALL DISTURBED AREAS SHALL BE SODED. CONTRACTOR SHALL INSTALL ALL REQUIRED SOD MATERIAL WITHIN 14 DAYS OF DISTURBANCE.
10. CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH THE PROJECT, THESE PLANS AND SPECIFICATIONS, AND ALL LOCAL, STATE AND FEDERAL AGENCY REQUIREMENTS AND REGULATIONS OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR CONSTRUCTION.
12. ALL EXCESS CONSTRUCTION MATERIAL AND WASTE TO BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT CONTRACTOR'S EXPENSE.

EROSION AND SEDIMENT CONTROL NOTES

CONSTRUCTION ACTIVITIES CAN RESULT IN THE GENERATION OF SIGNIFICANT AMOUNTS OF POLLUTANTS WHICH MAY REACH SURFACE OR GROUND WATERS. ONE OF THE PRIMARY POLLUTANTS OF SURFACE WATERS IS SEDIMENT DUE TO EROSION. EXCESSIVE QUANTITIES OF SEDIMENT WHICH REACH WATER BODIES OF FLOODPLAINS HAVE BEEN SHOWN TO ADVERSELY AFFECT THEIR PHYSICAL, BIOLOGICAL AND CHEMICAL PROPERTIES. TRANSPORTED SEDIMENT CAN OBSTRUCT STREAM CHANNELS, REDUCE HYDRAULIC CAPACITY OF WATER BODIES OF FLOODPLAINS, REDUCE THE DESIGN CAPACITY OF CULVERTS AND OTHER WORKS, AND ELIMINATE BENTHIC INVERTEBRATES AND FISH SPAWNING SUBSTRATES BY SILTATION. EXCESSIVE SUSPENDED SEDIMENTS REDUCE LIGHT PENETRATION AND THEREFORE, REDUCE PRIMARY PRODUCTIVITY.

MINIMUM STANDARDS

- 1. SEDIMENT BASIN AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTRIBUTING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UNSLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE REVIEWER, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
6. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
7. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE SEDIMENT BASIN SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE THE ANTICIPATED SEDIMENT LOADING FROM THE LAND-DISTURBING ACTIVITY. THE OUTFALL DEVICE OR SYSTEM DESIGN SHALL TAKE INTO ACCOUNT THE TOTAL DRAINAGE AREA FLOWING THROUGH THE DISTURBED AREA TO BE SERVED BY THE BASIN.
8. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
9. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
10. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
11. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN SYSTEM, DITCH OR CHANNEL. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
12. BEFORE TEMPORARY OR NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTFLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LININGS SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
13. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS AND OTHER MEASURES INTENDED TO CONTROL SEDIMENT, TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COPPERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
14. WHEN A LIVE WATERCOURSE MUST BE GROSSED BY CONSTRUCTION VEHICLES, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
15. THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
16. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
17. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA.
A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
D. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
18. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRUCKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTRIBUTING ACTIVITIES.
19. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, IN THE OPINION OF THE REVIEWER. DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
20. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DISPOSITION AND EROSION.
21. PHASED PROJECTS SHOULD BE CLEARED IN CONJUNCTION WITH CONSTRUCTION OF EACH PHASE.
22. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NOS. 101, 102 AND 103 OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
23. THE REVIEWER MAY APPROVE MODIFICATIONS OR ALTER PLANS TO THESE EROSION CONTROL CRITERIA DUE TO SITE SPECIFIC CONDITIONS.
24. A REVOCABLE ENCROACHMENT PERMIT WILL BE REQUIRED FOR THE BUFFER WALL, AC PADS AND ANY OTHER OBSTACLE CONSTRUCTED WITHIN THE EXISTING DRAINAGE AND UTILITY EASEMENTS.
25. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL SIGNS.

TECHNICAL SPECIFICATIONS

MATERIALS

- A.) DRAINAGE PIPING:
1. MINIMUM SIZED PIPING SHALL BE 18" OR EQUIVALENT ELLIPTICAL SIZE AND 18" MINIMUM ON COLLECTOR ROADS, UNLESS OTHERWISE NOTED.
2. ALL STORM PIPING SHALL MEET MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH MANUFACTURER TO ENSURE PROPOSED PIPING DOES NOT REQUIRE ADDITIONAL INSTALLATION MATERIALS, INCLUDING BUT NOT LIMITED TO, STRAPPING, ANCHORING, BUOYANCY, ETC.
3. ALL JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
4. SAFETY BARS SHALL BE PLACED ON PIPE AND MITERED END SECTIONS WHERE DETERMINED NECESSARY.
5. OUTFALL END RUN TO DITCHES SHALL HAVE A MITERED END SECTION WITH SAFETY BARS TO MATCH EXISTING DITCH BANK SLOPE WITH APPROPRIATE EROSION CONTROL MEASURES UNLESS OTHERWISE NOTED.

B.) DRAINAGE STRUCTURES:

- 1. ALL DRAINAGE STRUCTURES SHALL MEET SPECIFIC PLANNED USE AS DETERMINED BY THE DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY.
2. ALL CATCH BASINS, INLETS OR MANHOLE STRUCTURES SHALL BE OF PRECAST REINFORCED TYP PURSUANT TO FDOT DESIGN STANDARDS, LATEST EDITION, UNLESS OTHERWISE APPROVED.
3. ALL STRUCTURES SHALL BE FREE OF DEFECTS SUCH AS CRACKING, HONEY COMBS AND EXPOSED STEEL REINFORCING INCLUDING BLEED THROUGH.
4. SHOP DRAWINGS SHALL BE SUBMITTED BEFORE ORDERING MATERIAL FOR PLANNED PROJECT. CORRESPONDING SHALL BE BETWEEN THE DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

C.) OUTFALL SPECIFICATIONS:

- 1. OUTFALL STRUCTURES SHALL INCLUDE ALUMINUM SKIMMERS, WEIR DEVICES, WEIR HOLES AND DRAIN DOWN SYSTEMS AS DETERMINED BY DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY AS REQUIRED.
2. HARDWARE TO ATTACH DEVICES TO OUTFALL STRUCTURES SHALL BE STAINLESS STEEL MATERIAL.
3. CONTRACTOR TO COORDINATE WITH RESPECTIVE JURISDICTIONAL AGENCY FOR OUTFALL PIPE INTO JURISDICTIONAL CANAL, OR ANY OTHER WATER BODY, TO ENSURE PROPER CONSTRUCTION MEANS AND METHODS PROPOSED ARE ACCEPTABLE. IT IS RECOMMENDED THIS COORDINATION IS DONE PRIOR TO CONTRACTOR'S PRICING.

D.) MANHOLE COVERS & GRATES:

- 1. MANHOLE FRAMES, COVERS AND GRATES SHALL MEET SPECIFIC PLANNED USE AS DETERMINED BY DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY.
2. MANHOLE FRAMES AND COVERS SHALL BE OF CAST IRON MATERIALS, UNLESS OTHERWISE NOTED, AND BE FREE FROM CRACKS, HOLES OR COLD SHUTS. FRAMES AND COVERS SHALL CONFORM TO A MINIMUM STANDARD OF USF 1200 SERIES OR EQUIVALENT WITH COVERS STATING "STORM SEWER".
3. FRAMES AND GRATES SHALL BE OF CAST IRON MATERIALS, UNLESS OTHERWISE NOTED, AND BE FREE FROM CRACKS, HOLES AND COLD SHUTS. FRAMES AND GRATES SHALL CONFORM TO A MINIMUM STANDARD OF USF 4160-6210 OR EQUIVALENT.

CLEAN-UP

THE CONTRACTOR MUST PROVIDE CLEAN-UP OF EXCESS CONSTRUCTION MATERIAL UPON COMPLETION OF THE PROJECT. THE SITE MUST BE LEFT IN A NEAT, CLEAN, GRADED CONDITION.

DRAINAGE SPECIFICATIONS

STORM INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DESIGN CRITERIA OF THE FLORIDA DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

PRECAST CONCRETE MANHOLES AND STORM INLETS MAY BE USED UPON THE ENGINEER'S APPROVAL OF THE MANUFACTURER'S SHOP DRAWINGS.

CONCRETE

UNLESS OTHERWISE SPECIFIED OR INDICATED, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE AND THE APPLICABLE BUILDING CODES HAVING JURISDICTION IN THE AREA.

GROUNDWATER

GROUND WATER MAY BE ENCOUNTERED ON SITE. CONTRACTOR TO PLAN ACCORDINGLY.

RECORD DRAWINGS

THE CONTRACTOR SHALL KEEP AND MAINTAIN RECORD DRAWINGS ON THE PROJECT SITE AT ALL TIMES WHICH SHALL BE ANNOTATED BY THE CONTRACTOR DEPICTING ANY CHANGES MADE IN THE FIELD WHICH DIFFER FROM THE CONTRACT DRAWINGS. RECORD DRAWINGS SHALL INCLUDE, BUT NOT LIMITED TO, INVERT AND TOP ELEVATIONS OF CULVERTS AND INLET STRUCTURES. CONTRACTOR SHALL SUBMIT COMPLETE AND FINAL RECORD DRAWINGS TO ENGINEER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL INSPECTION AND FINAL PAYMENT.

FDEP SEPARATION CRITERIA

- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST FIVE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610.F.A.C.
(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST FIVE FEET, AND PREFERABLY TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610.F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY TYPE SANITARY SEWERS SHALL BE REDUCED TO FIVE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER.

- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES, ABOVE OR AT LEAST 18 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL THE WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES

- (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE. EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.

- (4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.

ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORT ST. LUCIE UTILITY SYSTEMS DEPARTMENT'S TECHNICAL SPECIFICATIONS AND CONSTRUCTION STANDARDS, LATEST REVISION, AND WITH APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS

Table with 2 columns: REVISIONS, DATE. Includes rows for 1, 2, 3, 4, 5, 6, 7 revisions.

Table with 2 columns: JOB NO., DATE. Includes rows for DESIGNED, DRAWN, CHECKED, DATE ISSUED, SCALE.

MBV ENGINEERING, INC. logo and contact information: 1835 - 20TH STREET, VERO BEACH, FL 32960, PH. (772) 569-0035, FAX. (772) 778-3617, MELBOURNE, FL - PH (321) 253-1510, FT. PIERCE, FL - PH (772) 468-9055, MOVA, BOWLES, VILLAMAZAR & ASSOCIATES CONSULTING ENGINEERING & CA #3728

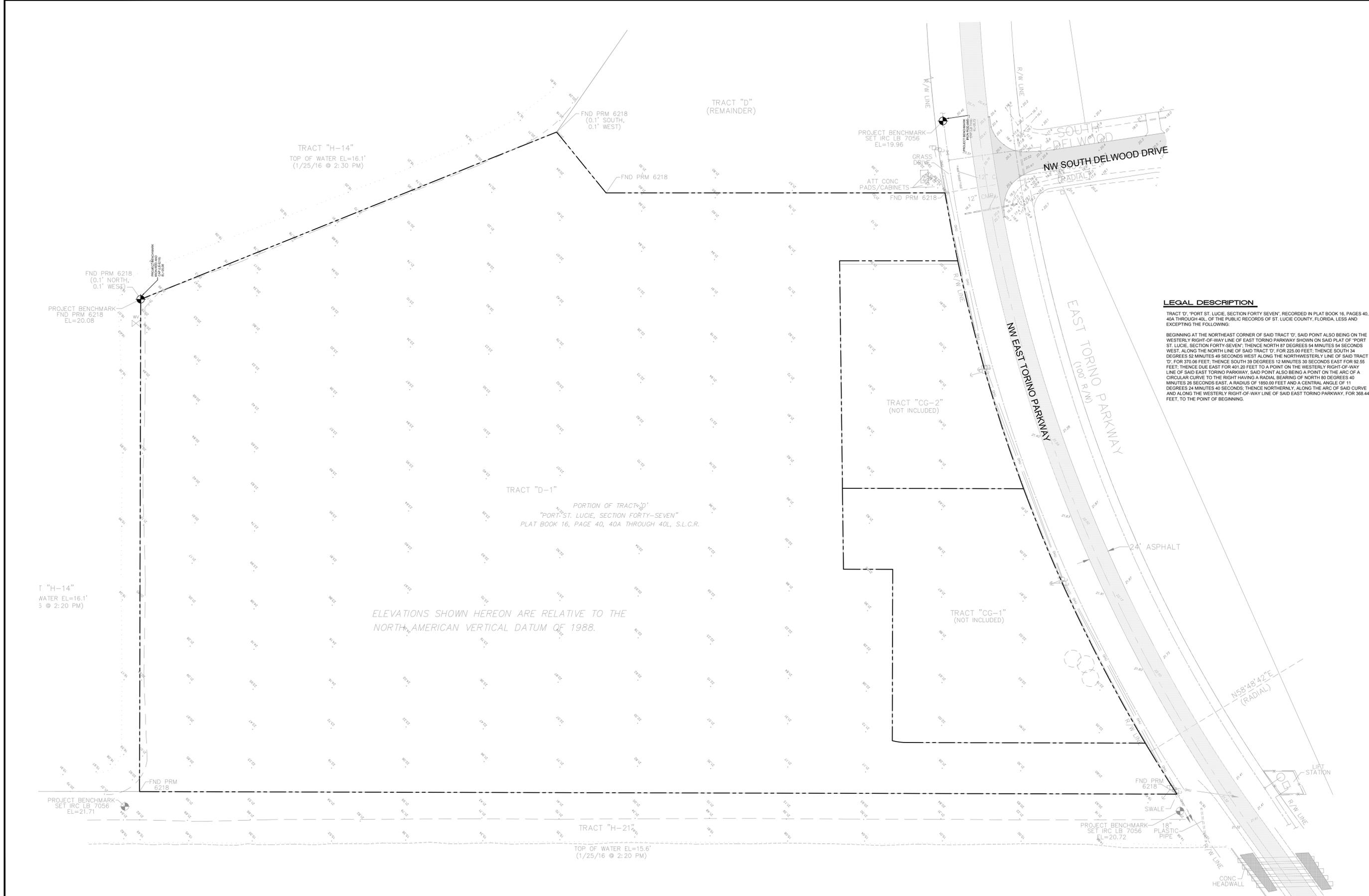
GENERAL NOTES

TORINO LAKES

AARON J. BOWLES
FL P.E. #55313

DATE: NOV. 28, 2016

SHEET
C2
OF 24



LEGAL DESCRIPTION

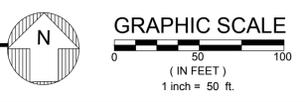
TRACT 'D', 'PORT ST. LUCIE, SECTION FORTY SEVEN', RECORDED IN PLAT BOOK 16, PAGES 40, 40A THROUGH 40L, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS AND EXCEPTING THE FOLLOWING:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT 'D', SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF EAST TORINO PARKWAY SHOWN ON SAID PLAT OF 'PORT ST. LUCIE, SECTION FORTY SEVEN'; THENCE NORTH 87 DEGREES 54 MINUTES 54 SECONDS WEST, ALONG THE NORTH LINE OF SAID TRACT 'D', FOR 225.00 FEET; THENCE SOUTH 34 DEGREES 52 MINUTES 49 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID TRACT 'D', FOR 370.06 FEET; THENCE SOUTH 39 DEGREES 12 MINUTES 30 SECONDS EAST FOR 92.55 FEET; THENCE DUE EAST FOR 401.20 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID EAST TORINO PARKWAY; SAID POINT ALSO BEING A POINT ON THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIAL BEARING OF NORTH 80 DEGREES 40 MINUTES 28 SECONDS EAST, A RADIUS OF 1850.00 FEET AND A CENTRAL ANGLE OF 11 DEGREES 24 MINUTES 49 SECONDS; THENCE NORTHERLY, ALONG THE ARC OF SAID CURVE AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID EAST TORINO PARKWAY, FOR 368.44 FEET, TO THE POINT OF BEGINNING.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

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EXISTING CONDITIONS
SCALE: 1" = 50'



REVISIONS	DATE
1 REVISIONS PER O.P.R. COMMENTS	3/16/16
2 REVISIONS PER O.P.R. COMMENTS	11/26/16
3	
4	
5	
6	
7	

JOB NO.	15-106
DESIGNED	RTM
DRAWN	GWR
DATE	OCT 2015
CHECKED	AJB
DATE ISSUED	OCT 2015
SCALE	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
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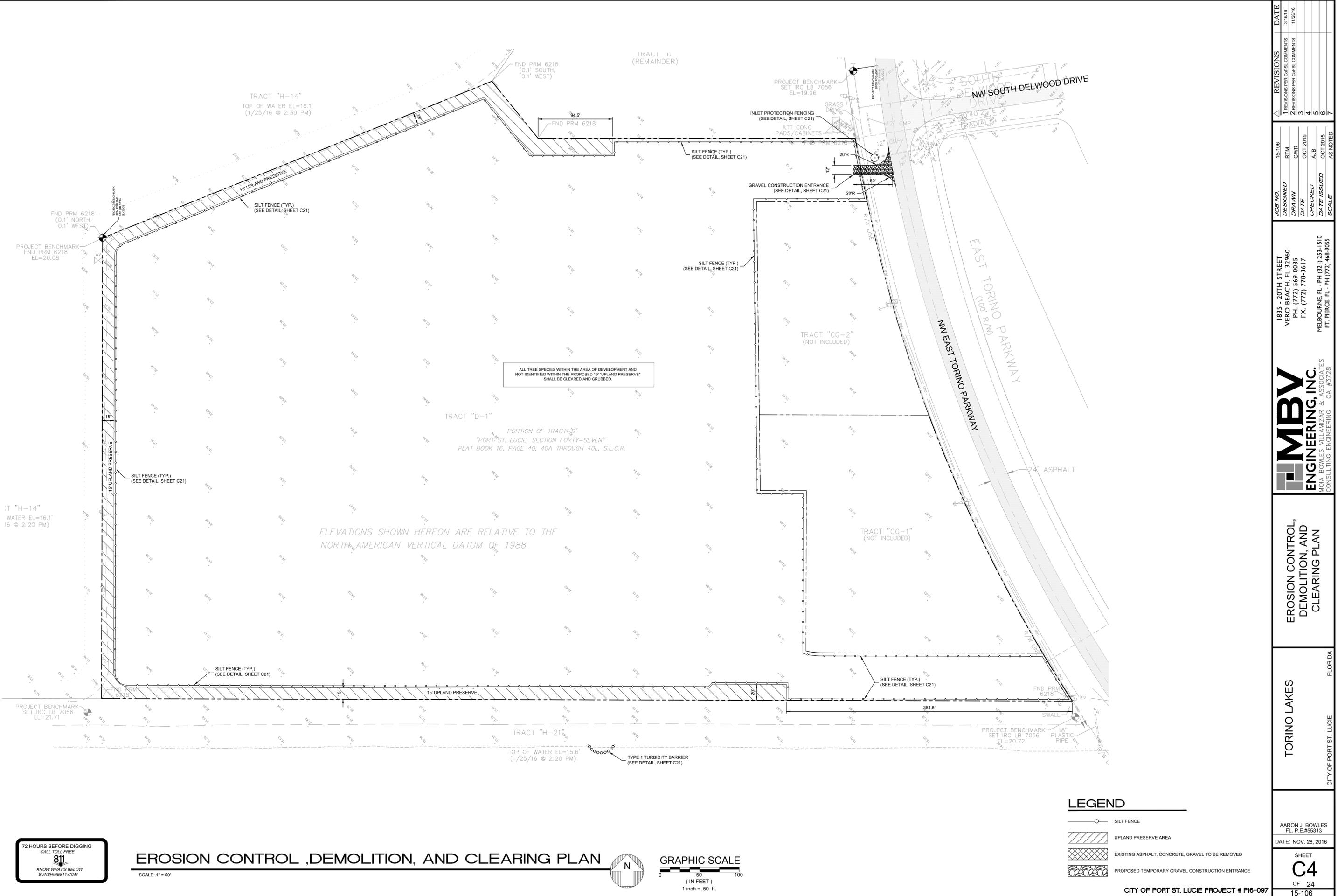
EXISTING CONDITIONS

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

SHEET
C3
OF 24
15-106

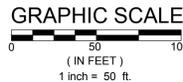
DATUM: NAVD88
CITY OF PORT ST. LUCIE PROJECT # P16-097



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EROSION CONTROL, DEMOLITION, AND CLEARING PLAN

SCALE: 1" = 50'



LEGEND

- SILT FENCE
- UPLAND PRESERVE AREA
- EXISTING ASPHALT, CONCRETE, GRAVEL TO BE REMOVED
- PROPOSED TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

REVISIONS	DATE
1 REVISIONS PER O.P.S.E. COMMENTS	3/16/16
2 REVISIONS PER O.P.S.E. COMMENTS	11/26/16
3	
4	
5	
6	
7	

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

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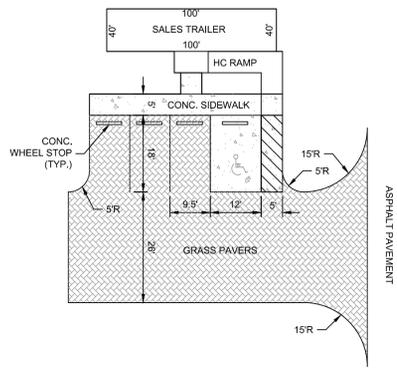
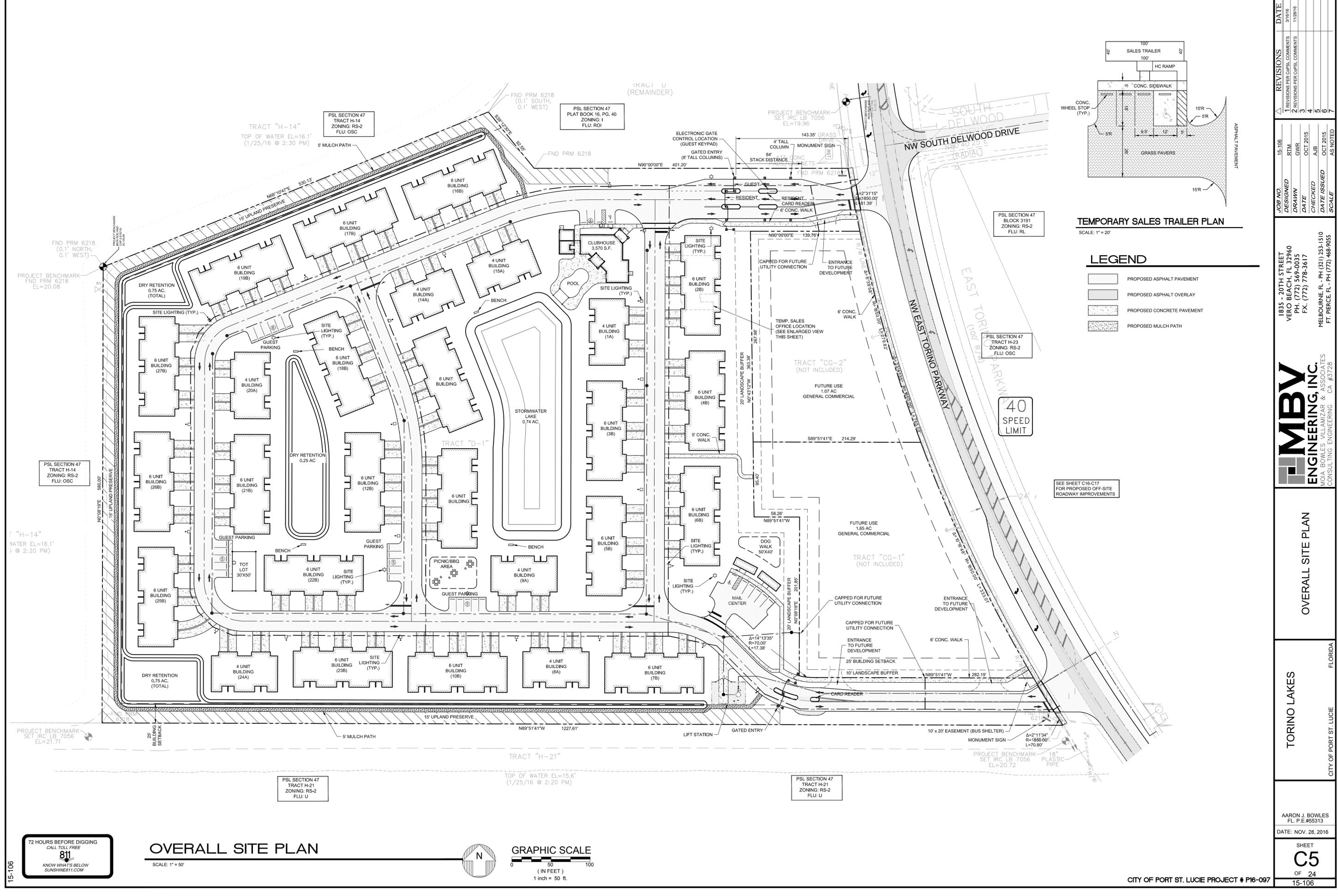


EROSION CONTROL,
DEMOLITION, AND
CLEARING PLAN

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

SHEET
C4
OF 24
15-106



TEMPORARY SALES TRAILER PLAN
SCALE: 1" = 20'

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT OVERLAY
- PROPOSED CONCRETE PAVEMENT
- PROPOSED MULCH PATH

SEE SHEET C16-C17 FOR PROPOSED OFF-SITE ROADWAY IMPROVEMENTS

40
SPEED
LIMIT

REVISIONS	DATE
1	3/16/16
2	11/29/16
3	
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7	

JOB NO.	15-106
DESIGNED	RTM
DRAWN	GWR
DATE	OCT 2015
CHECKED	AUB
DATE ISSUED	OCT 2015
SCALE	AS NOTED

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OVERALL SITE PLAN

TORINO LAKES
FLORIDA
CITY OF PORT ST. LUCIE

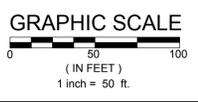
AARON J. BOWLES
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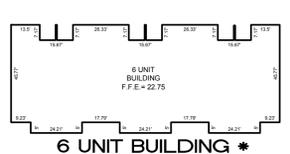
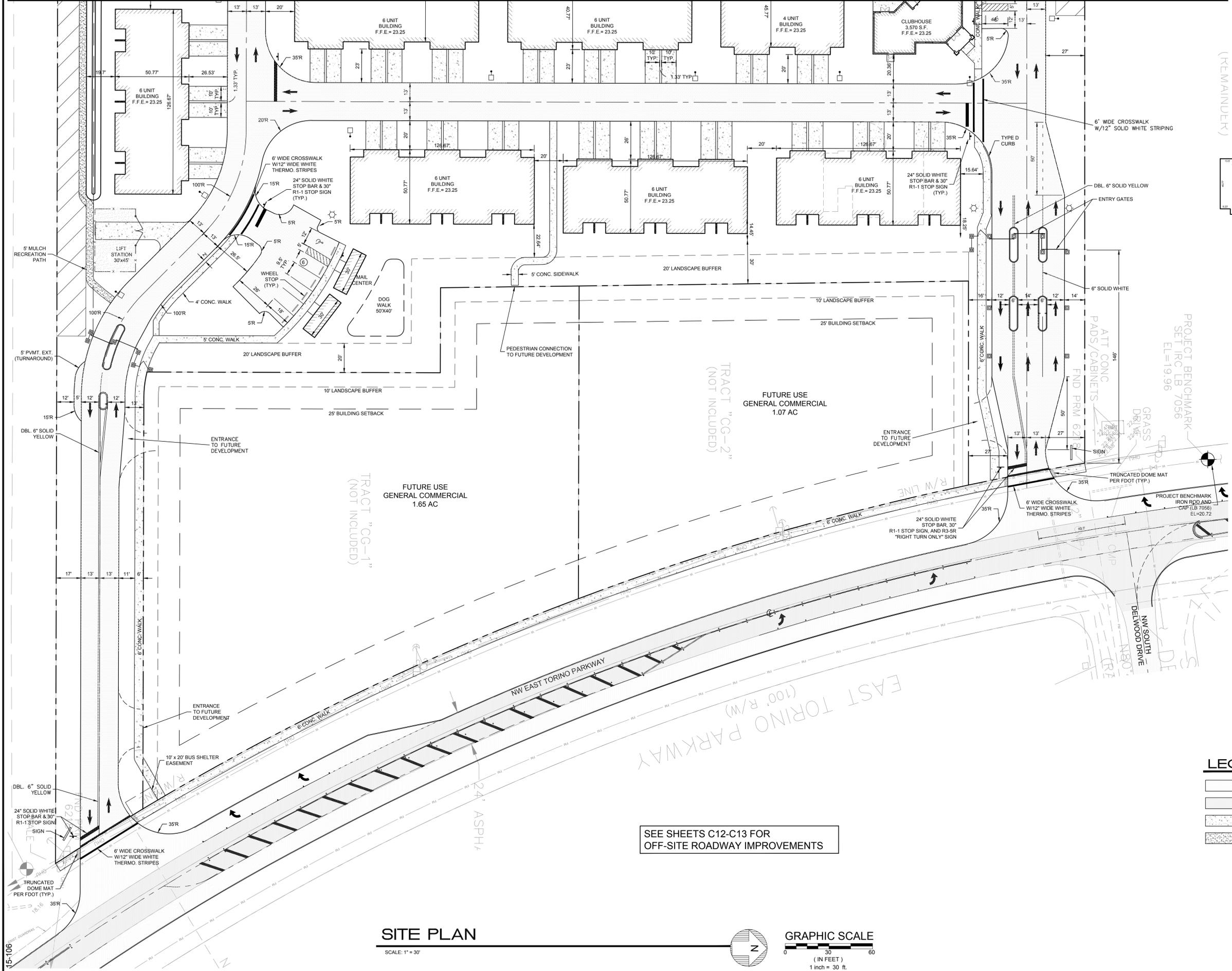
OVERALL SITE PLAN

SCALE: 1" = 50'

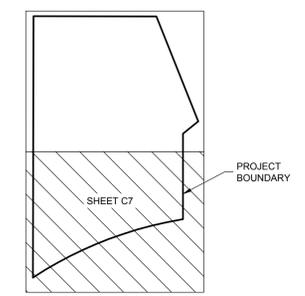


MATCH LINE - SEE SHEET C6

MATCH LINE - SEE SHEET C6



* SEE ARCHITECTURAL PLAN DOCUMENTS FOR ADDITIONAL INFORMATION

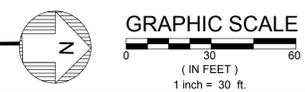


LEGEND

	PROPOSED ASPHALT PAVEMENT
	PROPOSED ASPHALT OVERLAY
	PROPOSED CONCRETE PAVEMENT
	PROPOSED MULCH PATH

SEE SHEETS C12-C13 FOR OFF-SITE ROADWAY IMPROVEMENTS

SITE PLAN
SCALE: 1" = 30'



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REVISIONS	DATE
1 DESIGNED	3/16/16
2 DRAWN	11/28/16
3 CHECKED	
4 DATE ISSUED	
5 AS NOTED	
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15-106		AS NOTED
DESIGNED		
DRAWN		
CHECKED		
DATE ISSUED		
AS NOTED		

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TORINO LAKES
SITE PLAN - EAST

CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOBLES
FL P.E. #55313

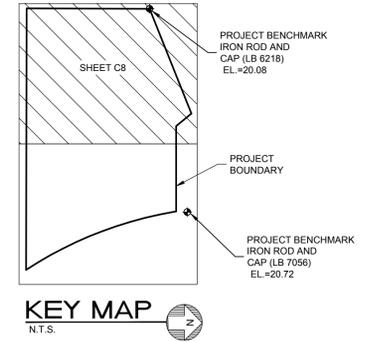
DATE: NOV. 28, 2016

SHEET
C7
OF 24
15-106

CITY OF PORT ST. LUCIE PROJECT # P16-097

LEGEND

-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED MULCH PATH
-  EXISTING ELEVATION
-  PROPOSED ELEVATION
-  DRAINAGE FLOW PATTERN
-  SODDED CONVEYANCE SWALE



REVISIONS	DATE
1 REVISIONS PER CDR COMMENTS	3/16/16
2 REVISIONS PER CDR COMMENTS	11/28/16
3	
4	
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15-106	RTM	GWR	AJB	OCT 2015	OCT 2015	AS NOTED

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TORINO LAKES
 PAVING, GRADING AND DRAINAGE PLAN - WEST

CITY OF PORT ST. LUCIE
 FLORIDA

AARON J. BOWLES
 FL P.E. #55313

DATE: NOV. 28, 2016

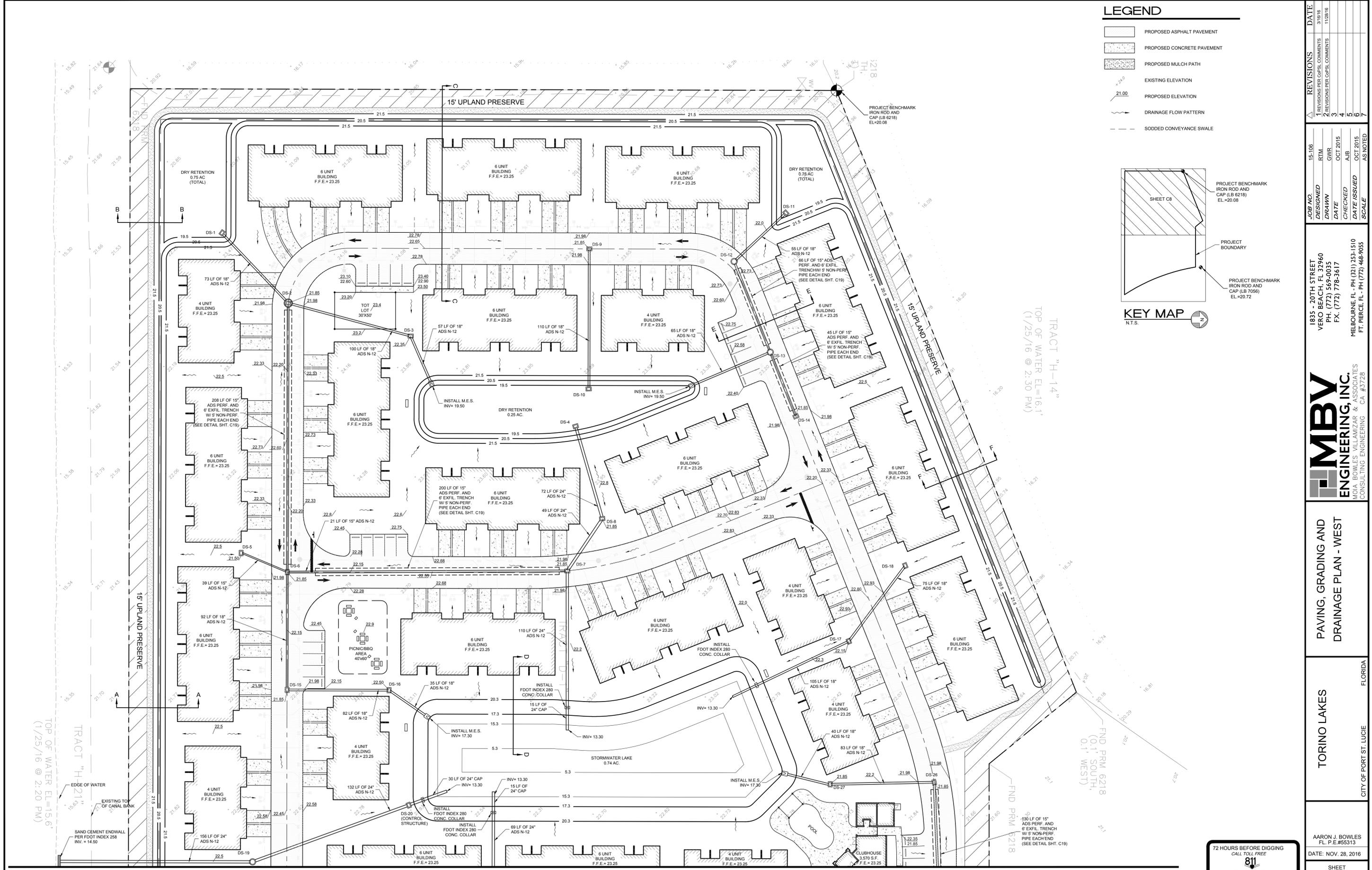
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DATUM: NAVD88
 CITY OF PORT ST. LUCIE PROJECT # P16-097



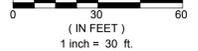
MATCH LINE - SEE SHEET C9

PAVING, GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'



GRAPHIC SCALE



MATCH LINE - SEE SHEET C9

15-106

TOP OF WATER EL=15.6'
 (1/25/16 @ 2:20 PM)

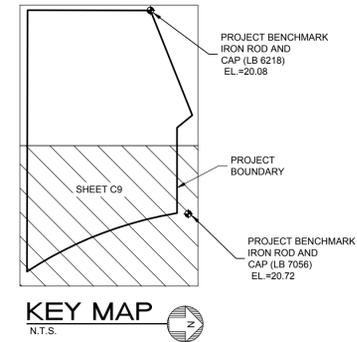
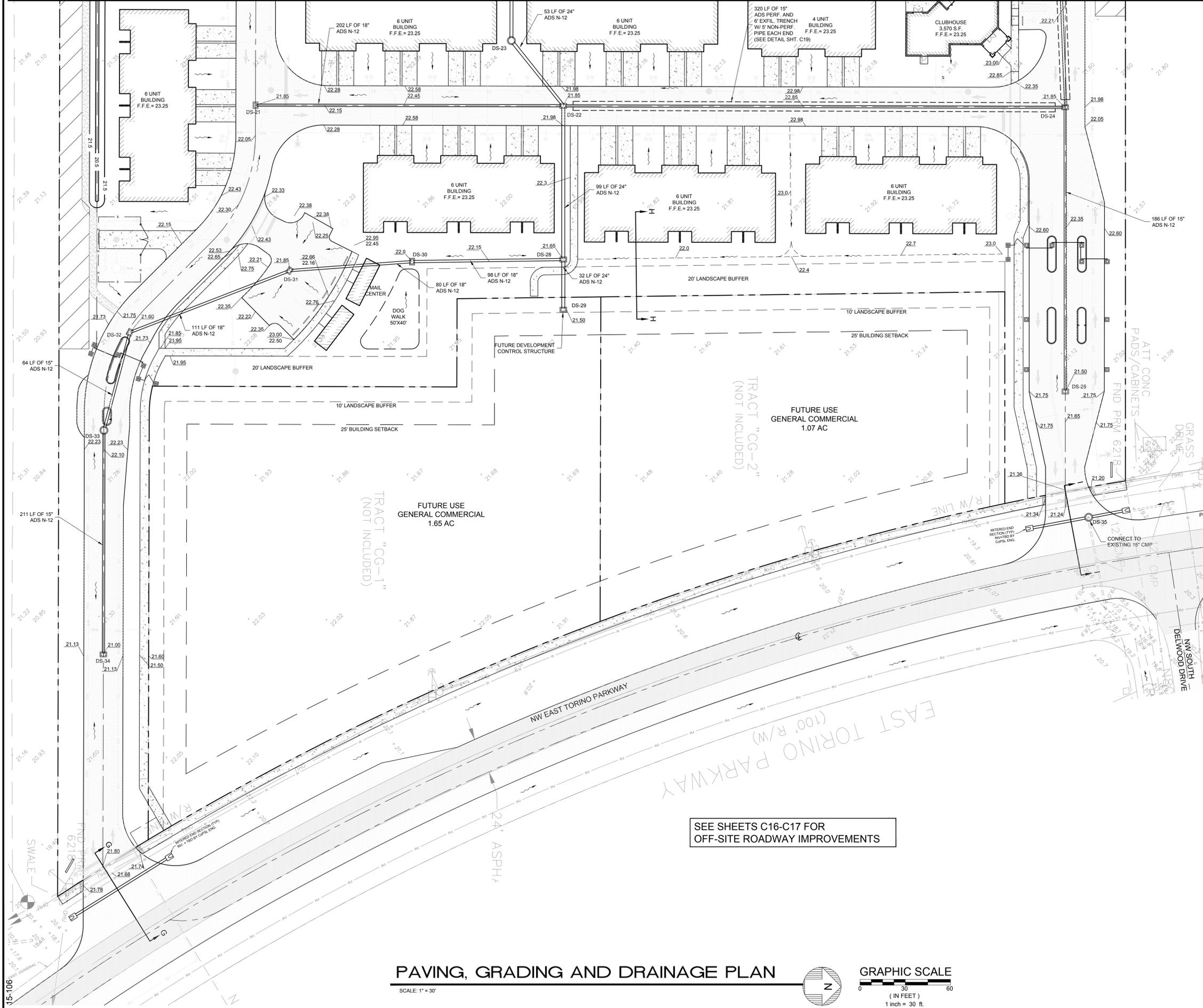
TRACT "H"-14"
 TOP OF WATER EL=16.1'
 (1/25/16 @ 2:30 PM)

FND PRIM 6218
 (0.1' SOUTH,
 0.1' WEST)

15-106

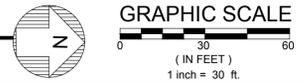
MATCH LINE - SEE SHEET C8

MATCH LINE - SEE SHEET C8



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT OVERLAY
- PROPOSED CONCRETE PAVEMENT
- PROPOSED MULCH PATH
- EXISTING ELEVATION
- PROPOSED ELEVATION
- DRAINAGE FLOW PATTERN
- SODDED CONVEYANCE SWALE



PAVING, GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
KNOW WHAT'S BELOW
SUNSHINE11.COM

DATUM: NAVD88
CITY OF PORT ST. LUCIE PROJECT # P16-097

REVISIONS	DATE
1 REVISIONS PER OPR. COMMENTS	3/16/16
2 REVISIONS PER OPR. COMMENTS	11/26/16
3	
4	
5	
6	
7	

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
FX. (772) 778-3617
MELBOURNE, FL - PH (321) 253-1510
FT. PIERCE, FL - PH (772) 468-9055

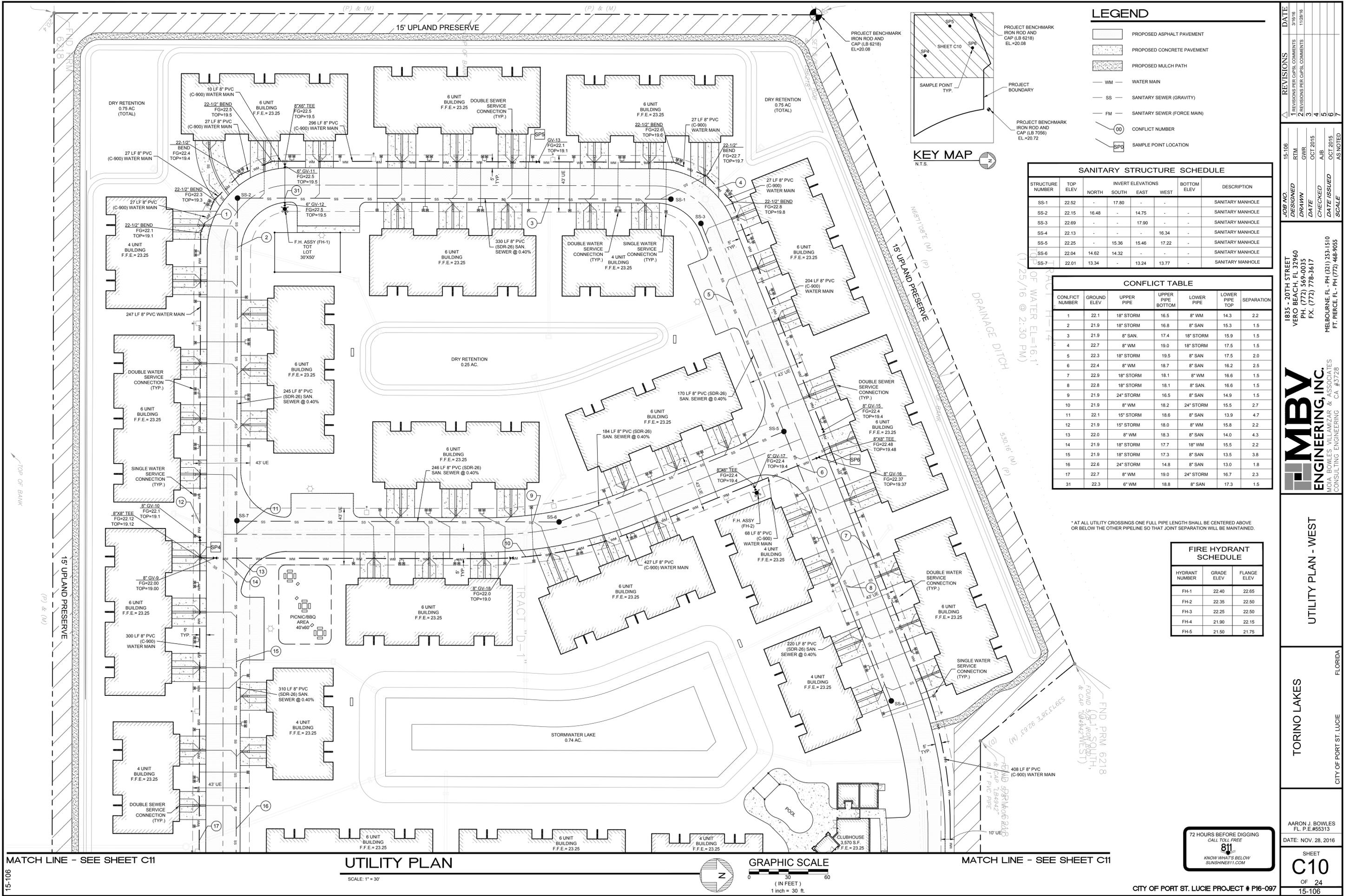
MBV ENGINEERING, INC.
MOA, BOWLES, VILLAMIZAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

PAVING, GRADING AND DRAINAGE PLAN - EAST

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

SHEET
C9
OF 24
15-106



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED MULCH PATH
- WM — WATER MAIN
- SS — SANITARY SEWER (GRAVITY)
- FM — SANITARY SEWER (FORCE MAIN)
- (00) CONFLICT NUMBER
- SPQ SAMPLE POINT LOCATION

KEY MAP
N.T.S.



SANITARY STRUCTURE SCHEDULE

STRUCTURE NUMBER	TOP ELEV	INVERT ELEVATIONS				BOTTOM ELEV	DESCRIPTION
		NORTH	SOUTH	EAST	WEST		
SS-1	22.52	-	17.80	-	-	-	SANITARY MANHOLE
SS-2	22.15	16.48	-	14.75	-	-	SANITARY MANHOLE
SS-3	22.69	-	-	17.90	-	-	SANITARY MANHOLE
SS-4	22.13	-	-	-	16.34	-	SANITARY MANHOLE
SS-5	22.25	-	15.36	15.46	17.22	-	SANITARY MANHOLE
SS-6	22.04	14.62	14.32	-	-	-	SANITARY MANHOLE
SS-7	22.01	13.34	-	13.24	13.77	-	SANITARY MANHOLE

CONFLICT TABLE

CONFLICT NUMBER	GROUND ELEV	UPPER PIPE	UPPER PIPE BOTTOM	LOWER PIPE	LOWER PIPE TOP	SEPARATION
1	22.1	18" STORM	16.5	8" WM	14.3	2.2
2	21.9	18" STORM	16.8	8" SAN	15.3	1.5
3	21.9	8" SAN	17.4	18" STORM	15.9	1.5
4	22.7	8" WM	19.0	18" STORM	17.5	1.5
5	22.3	18" STORM	19.5	8" SAN	17.5	2.0
6	22.4	8" WM	18.7	8" SAN	18.2	2.5
7	22.9	18" STORM	18.1	8" WM	16.6	1.5
8	22.8	18" STORM	18.1	8" SAN	16.6	1.5
9	21.9	24" STORM	16.5	8" SAN	14.9	1.5
10	21.9	8" WM	18.2	24" STORM	15.5	2.7
11	22.1	15" STORM	18.6	8" SAN	13.9	4.7
12	21.9	15" STORM	18.0	8" WM	15.8	2.2
13	22.0	8" WM	18.3	8" SAN	14.0	4.3
14	21.9	18" STORM	17.7	18" WM	15.5	2.2
15	21.9	18" STORM	17.3	8" SAN	13.5	3.8
16	22.6	24" STORM	14.8	8" SAN	13.0	1.8
17	22.7	8" WM	19.0	24" STORM	16.7	2.3
31	22.3	6" WM	18.8	8" SAN	17.3	1.5

FIRE HYDRANT SCHEDULE

HYDRANT NUMBER	GRADE ELEV	FLANGE ELEV
FH-1	22.40	22.65
FH-2	22.35	22.50
FH-3	22.25	22.50
FH-4	21.90	22.15
FH-5	21.50	21.75

* AT ALL UTILITY CROSSINGS ONE FULL PIPE LENGTH SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THAT JOINT SEPARATION WILL BE MAINTAINED.

REVISIONS

NO.	DATE	DESCRIPTION
1	3/16/16	DESIGNED PER O.P.S. COMMENTS
2	11/26/16	REVISED PER O.P.S. COMMENTS
3		
4		
5		
6		
7		

JOB NO. 15-106

DESIGNED	DRAWN	CHECKED	ISSUED
RTM	GWR	AJB	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
FX. (772) 778-3617

MBV ENGINEERING, INC.
MOA, BOULEVARD AMAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

UTILITY PLAN - WEST

TORINO LAKES
FLORIDA
CITY OF PORT ST. LUCIE

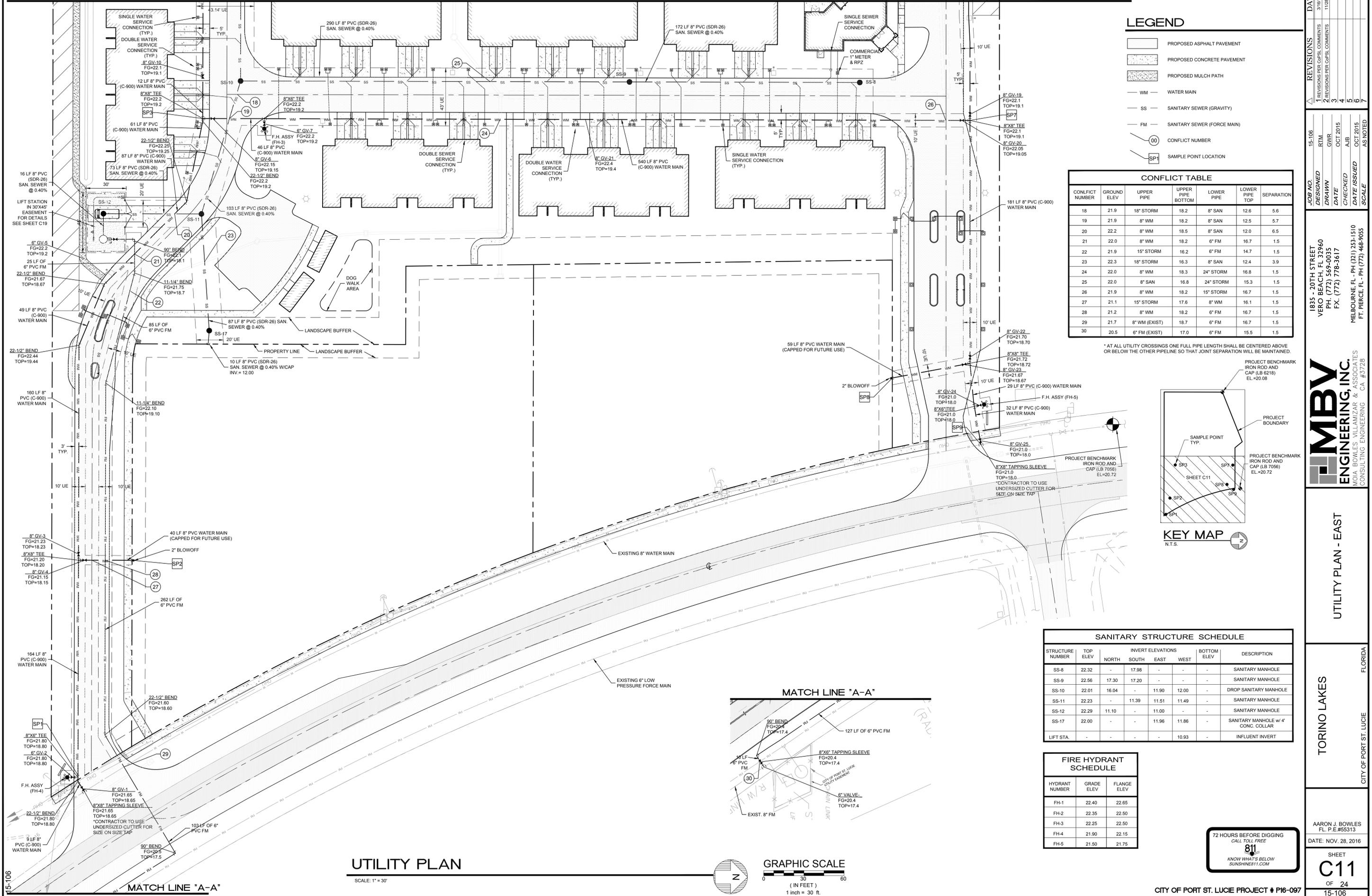
AARON J. BOWLES
FL P.E. #55313

DATE: NOV. 28, 2016
SHEET **C10**
OF 24
15-106

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
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SUNSHINE811.COM

MATCH LINE - SEE SHEET C10

MATCH LINE - SEE SHEET C10



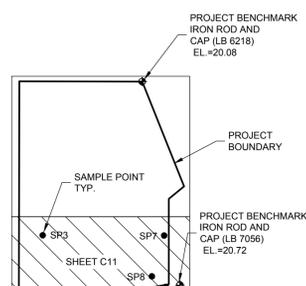
LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED MULCH PATH
- WM - WATER MAIN
- SS - SANITARY SEWER (GRAVITY)
- FM - SANITARY SEWER (FORCE MAIN)
- 00 - CONFLICT NUMBER
- SP - SAMPLE POINT LOCATION

CONFLICT TABLE

CONFLICT NUMBER	GROUND ELEV	UPPER PIPE	UPPER PIPE BOTTOM	LOWER PIPE	LOWER PIPE TOP	SEPARATION
18	21.9	18" STORM	18.2	8" SAN	12.6	5.6
19	21.9	8" WM	18.2	8" SAN	12.5	5.7
20	22.2	8" WM	18.5	8" SAN	12.0	6.5
21	22.0	8" WM	18.2	6" FM	16.7	1.5
22	21.9	15" STORM	16.2	6" FM	14.7	1.5
23	22.3	18" STORM	16.3	8" SAN	12.4	3.9
24	22.0	8" WM	18.3	24" STORM	16.8	1.5
25	22.0	8" SAN	16.8	24" STORM	15.3	1.5
26	21.9	8" WM	18.2	15" STORM	16.7	1.5
27	21.1	15" STORM	17.6	8" WM	16.1	1.5
28	21.2	8" WM	18.2	6" FM	16.7	1.5
29	21.7	8" WM (EXIST)	18.7	6" FM	16.7	1.5
30	20.5	6" FM (EXIST)	17.0	6" FM	15.5	1.5

* AT ALL UTILITY CROSSINGS ONE FULL PIPE LENGTH SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THAT JOINT SEPARATION WILL BE MAINTAINED.

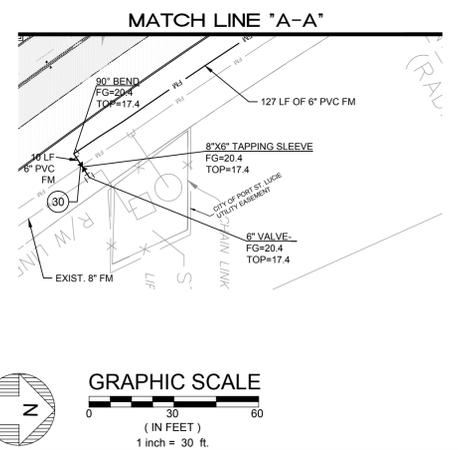


SANITARY STRUCTURE SCHEDULE

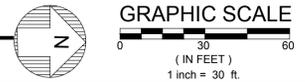
STRUCTURE NUMBER	TOP ELEV	INVERT ELEVATIONS				BOTTOM ELEV	DESCRIPTION
		NORTH	SOUTH	EAST	WEST		
SS-8	22.32	-	17.98	-	-	-	SANITARY MANHOLE
SS-9	22.56	17.30	17.20	-	-	-	SANITARY MANHOLE
SS-10	22.01	16.04	-	11.90	12.00	-	DROP SANITARY MANHOLE
SS-11	22.23	-	11.39	11.51	11.49	-	SANITARY MANHOLE
SS-12	22.29	11.10	-	11.00	-	-	SANITARY MANHOLE
SS-17	22.00	-	-	11.96	11.86	-	SANITARY MANHOLE w/ 4" CONC. COLLAR
LIFT STA.	-	-	-	-	10.93	-	INFLUENT INVERT

FIRE HYDRANT SCHEDULE

HYDRANT NUMBER	GRADE ELEV	FLANGE ELEV
FH-1	22.40	22.65
FH-2	22.35	22.50
FH-3	22.25	22.50
FH-4	21.90	22.15
FH-5	21.50	21.75



UTILITY PLAN
SCALE: 1" = 30'



REVISIONS

NO.	DATE	BY	REVISIONS PER O.P.S.	COMMENTS
1	3/16/16	RTM	DESIGNED	
2	11/26/16	GWR	DRAWN	
3			CHECKED	
4			DATE ISSUED	
5			SCALE	
6			AS NOTED	
7				

JOB NO. 15-106
DESIGNED RTM
DRAWN GWR
DATE OCT 2015
CHECKED AUB
DATE ISSUED OCT 2015
SCALE AS NOTED

1835 - 20TH STREET
 VERO BEACH, FL 32960
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 FX. (772) 778-3617

MELBOURNE, FL - PH (321) 253-1510
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MBV ENGINEERING, INC.
 MOA, BOBLES, VILLAMAZAR & ASSOCIATES
 CONSULTING ENGINEERING & CA #3728

UTILITY PLAN - EAST

TORINO LAKES
 CITY OF PORT ST. LUCIE
 FLORIDA

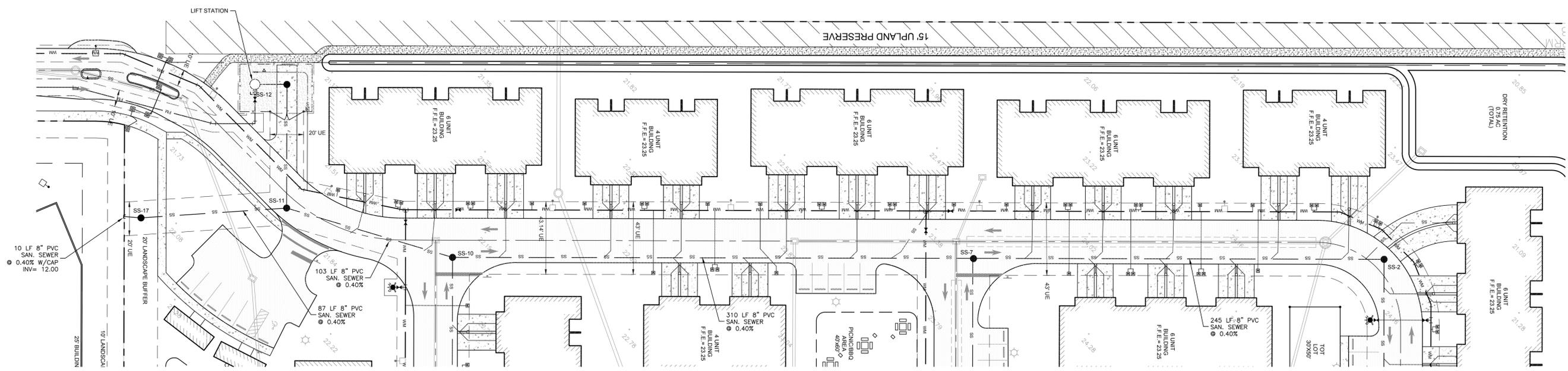
AARON J. BOBLES
 FL P.E. #55313
 DATE: NOV. 28, 2016

SHEET
C11
 OF 24
 15-106

72 HOURS BEFORE DIGGING
 CALL TOLL FREE

 KNOW WHAT'S BELOW
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CITY OF PORT ST. LUCIE PROJECT # P16-097



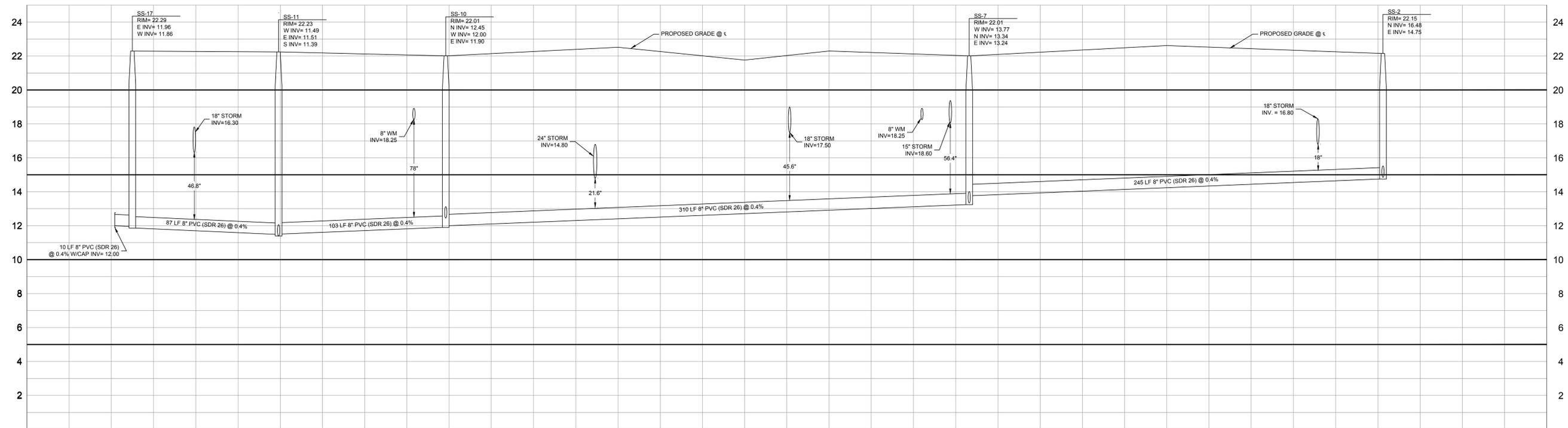
PLAN VIEW

SCALE: 1" = 30'



GRAPHIC SCALE

0 30 60
(IN FEET)
1 inch = 30 ft.



PROFILE SCALE
HORIZ.: 1" = 30'
VERT.: 1" = 3'

GRAPHIC SCALE

0 30 60
(IN FEET)
1 inch = 30 ft.

REVISIONS	DATE
1 REVISIONS PER CDS&L COMMENTS	3/16/16
2 REVISIONS PER CDS&L COMMENTS	1/28/16
3	
4	
5	
6	
7	

JOB NO.	15-106
DESIGNED	RTM
DRAWN	GWR
DATE	OCT 2015
CHECKED	AUB
DATE ISSUED	OCT 2015
SCALE	AS NOTED

1835 - 20TH STREET
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MBV
ENGINEERING, INC.
MORA BOWLES VILLAMIZAR & ASSOCIATES
CONSULTING ENGINEERING CA #5728

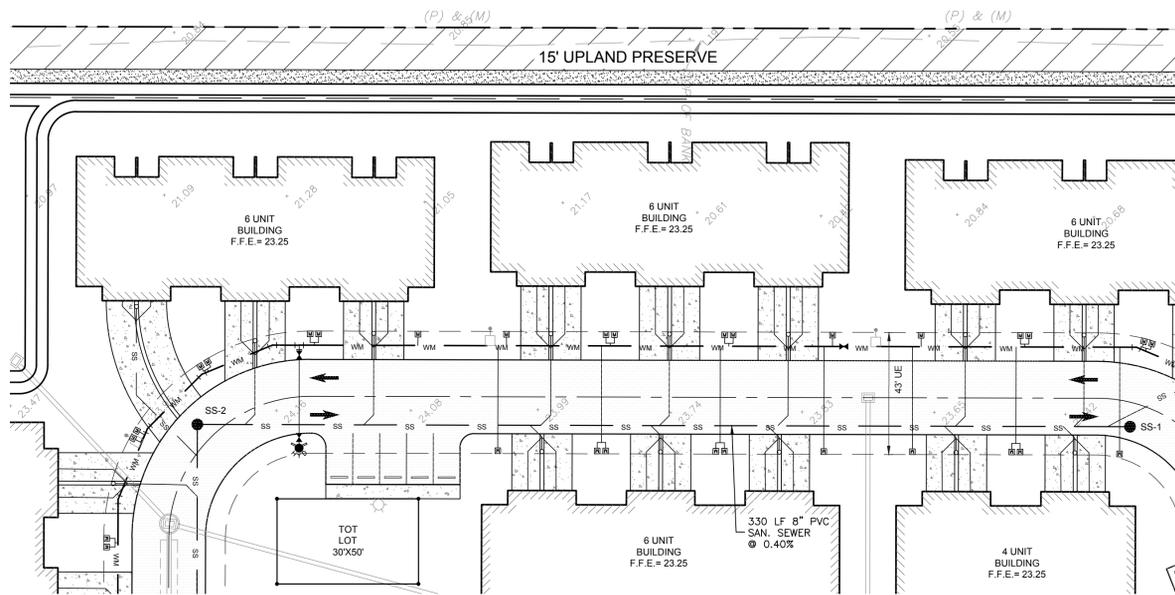
PLAN AND PROFILE

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E.#55313

DATE: NOV. 28, 2016

SHEET
C12
OF 24
15-106

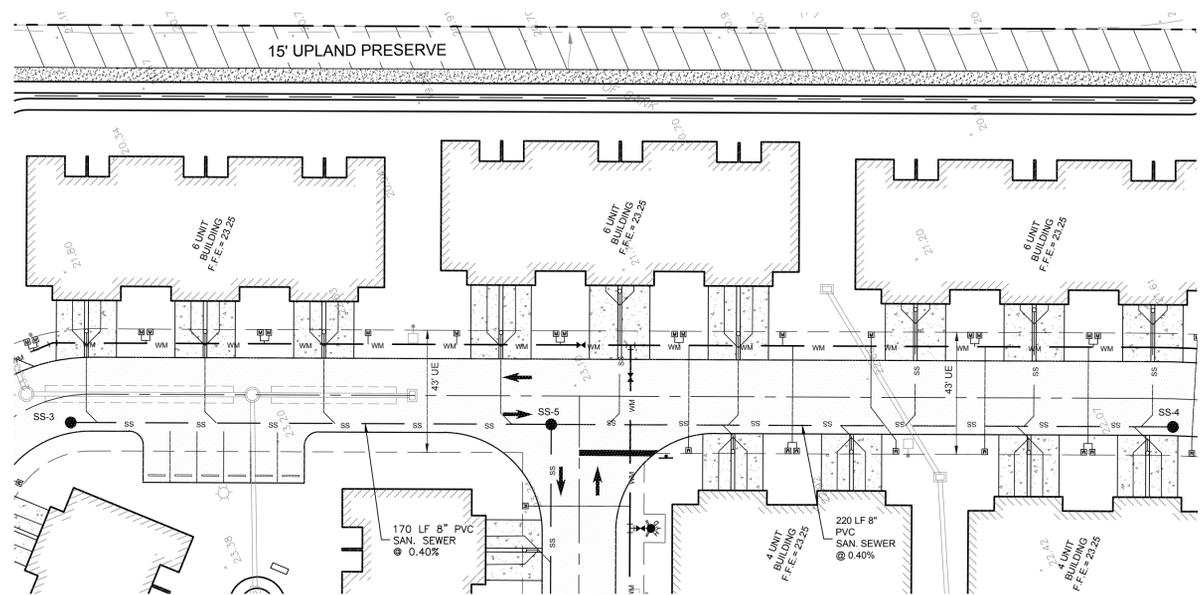


PLAN VIEW

SCALE: 1" = 30'



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

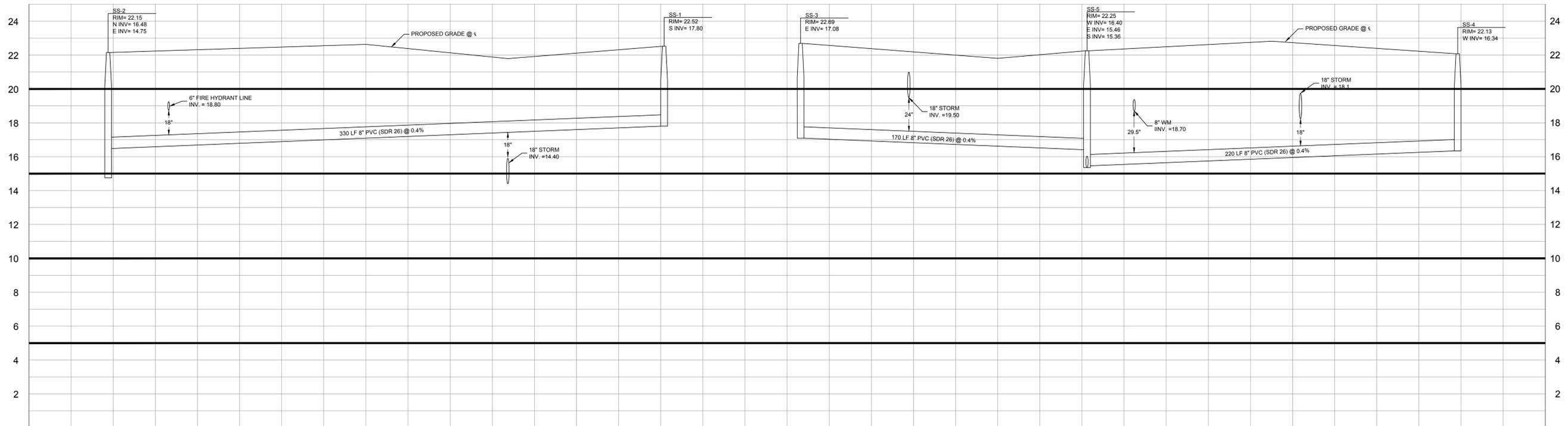


PLAN VIEW

SCALE: 1" = 30'



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.



PROFILE SCALE
HORIZ: 1" = 30'
VERT.: 1" = 3'

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

REVISIONS	DATE
1 REVISIONS PER OPSR. COMMENTS	3/16/16
2 REVISIONS PER OPSR. COMMENTS	11/26/16
3	
4	
5	
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7	

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

1835 - 20TH STREET
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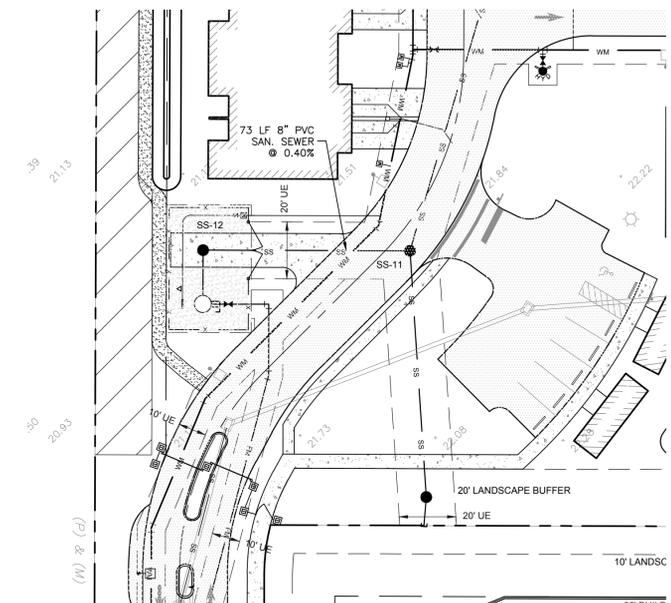
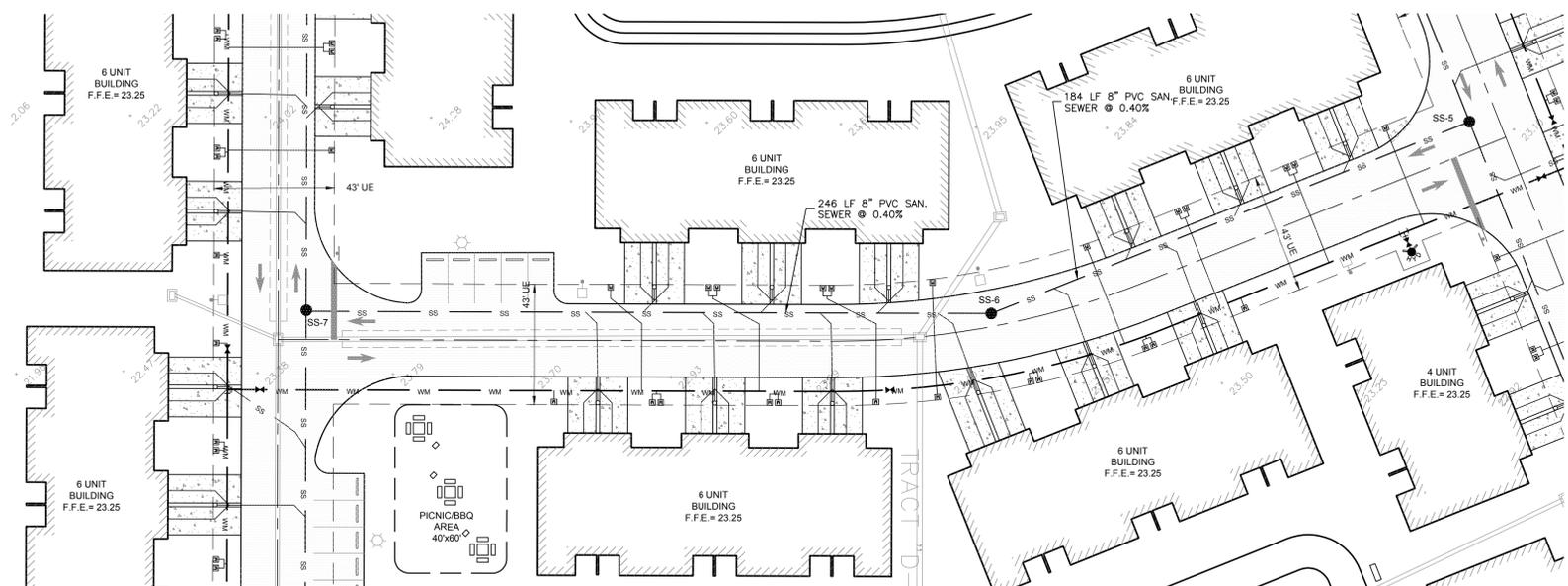
MBV
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CONSULTING ENGINEERING CA #3728

PLAN AND PROFILE

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

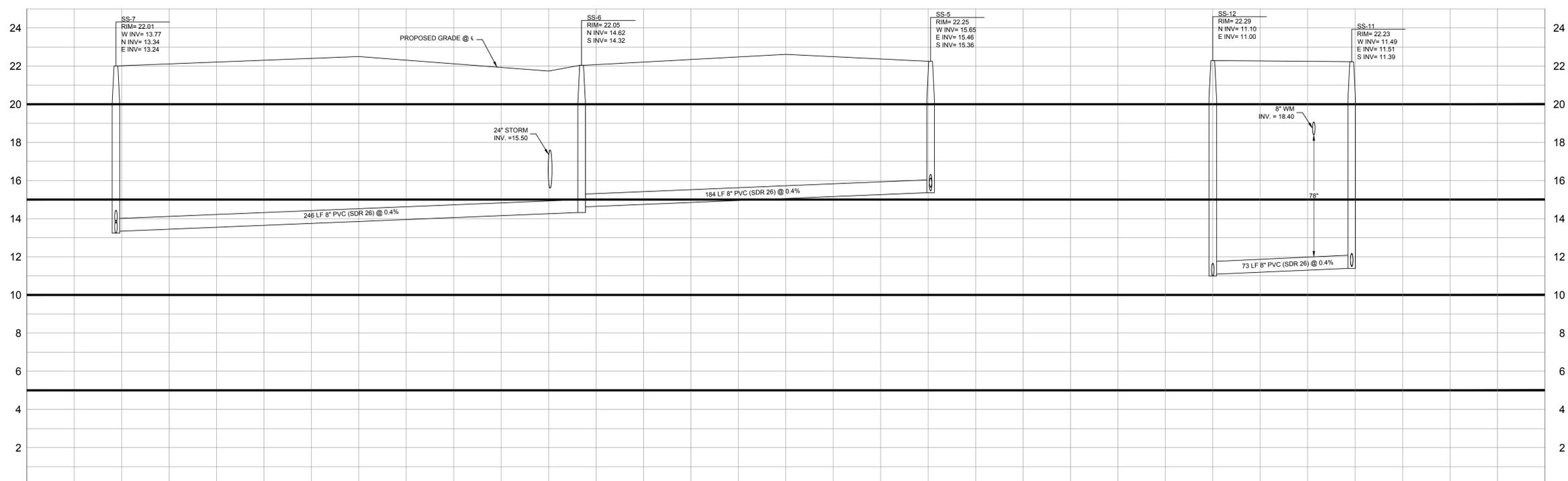
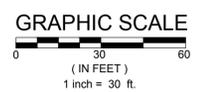
AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

SHEET
C13
OF 24
15-106

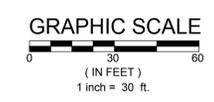


PLAN VIEW

SCALE: 1" = 30'



PROFILE SCALE
 HORIZ.: 1" = 30'
 VERT.: 1" = 3'



REVISIONS	DATE
1 REVISIONS PER OPSL COMMENTS	3/16/16
2 REVISIONS PER OPSL COMMENTS	11/28/16
3	
4	
5	
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7	

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

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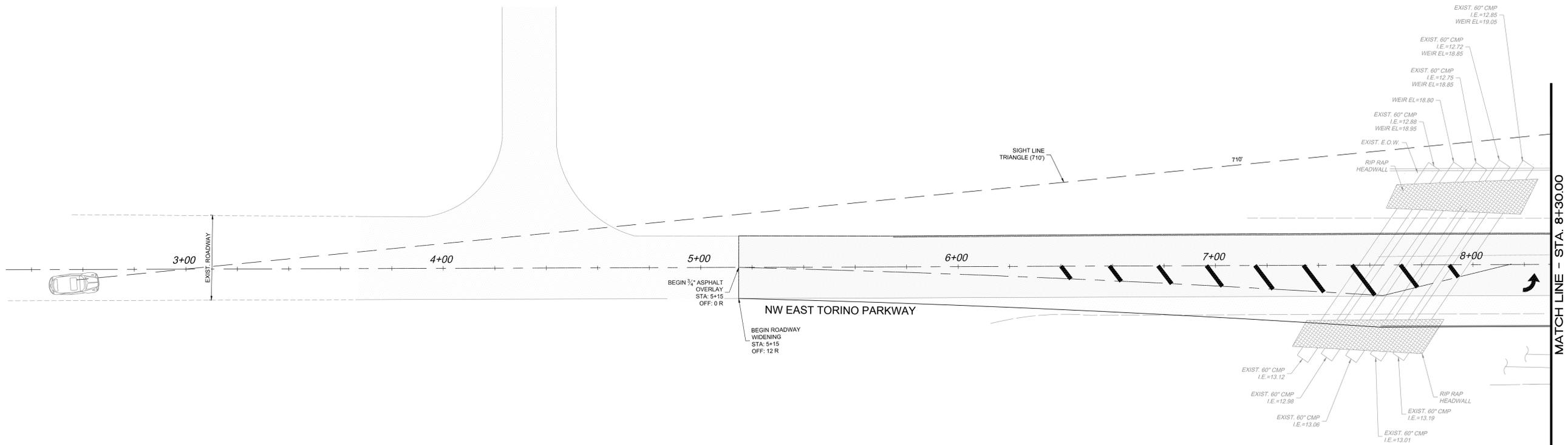
PLAN AND PROFILE

TORINO LAKES
 CITY OF PORT ST. LUCIE
 FLORIDA

AARON J. BOWLES
 FL P.E. #55313
 DATE: NOV. 28, 2016

SHEET
C14
 OF 24
 15-106

15-106



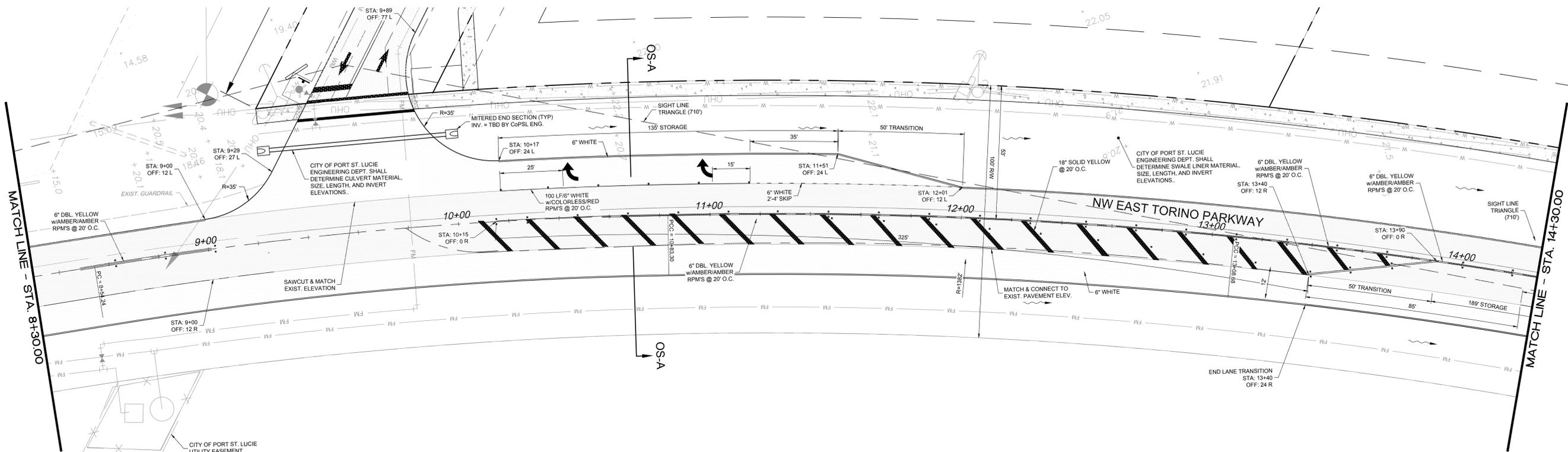
OFF-SITE IMPROVEMENTS PLAN

SCALE: 1" = 20'



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



OFF-SITE IMPROVEMENTS PLAN

SCALE: 1" = 20'



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT OVERLAY
- PROPOSED CONCRETE PAVEMENT

REVISIONS	DATE
1 REVISIONS PER OPSL COMMENTS	3/16/16
2 REVISIONS PER OPSL COMMENTS	11/26/16
3	
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JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

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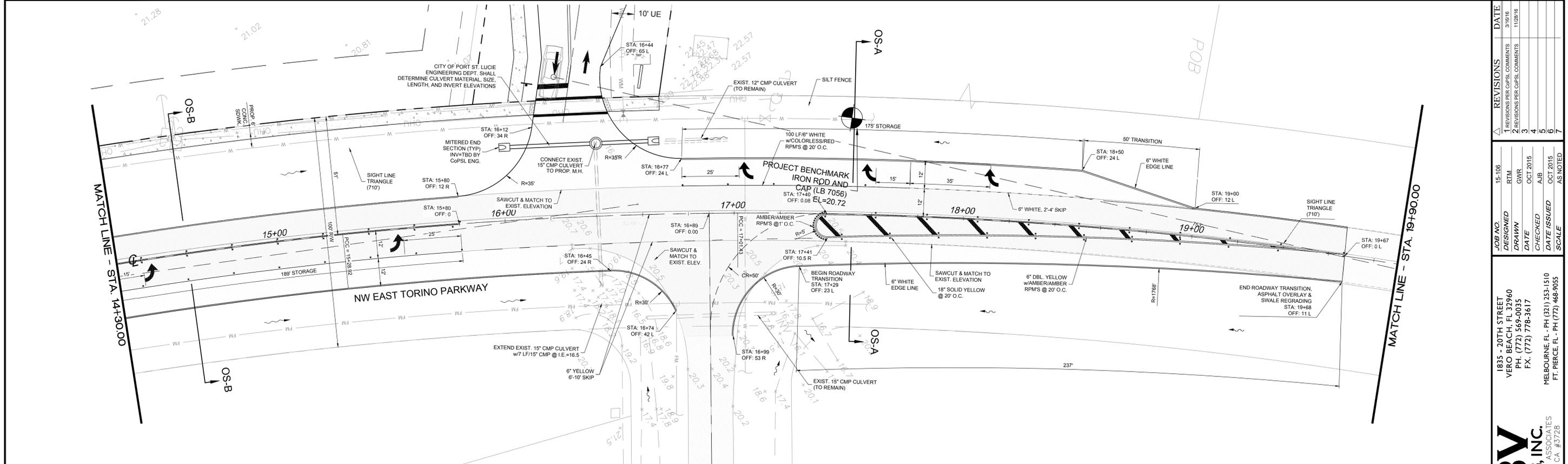
OFF-SITE IMPROVEMENTS PLAN

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

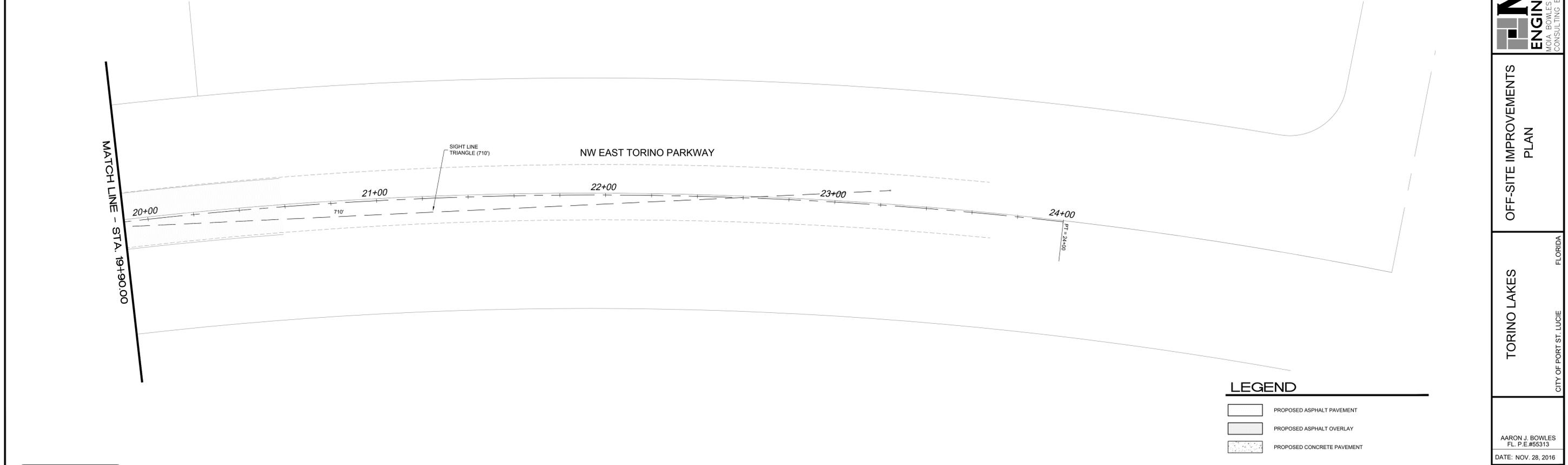
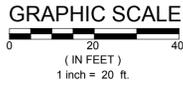
SHEET
C16
OF 24
15-106

72 HOURS BEFORE DIGGING
CALL TOLL FREE
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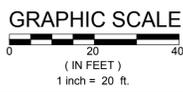
OFF-SITE IMPROVEMENTS PLAN

SCALE: 1" = 20'



OFF-SITE IMPROVEMENTS PLAN

SCALE: 1" = 20'



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT OVERLAY
- PROPOSED CONCRETE PAVEMENT

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
KNOW WHAT'S BELOW
SUNSHINE11.COM

REVISIONS	DATE
1 REVISIONS PER CDR'S COMMENTS	3/16/16
2 REVISIONS PER CDR'S COMMENTS	11/28/16
3	
4	
5	
6	
7	

JOB NO.	DATE	SCALE
15-106	OCT 2015	AS NOTED
DESIGNED		
DRAWN		
CHECKED		
DATE ISSUED		

1835 - 20TH STREET
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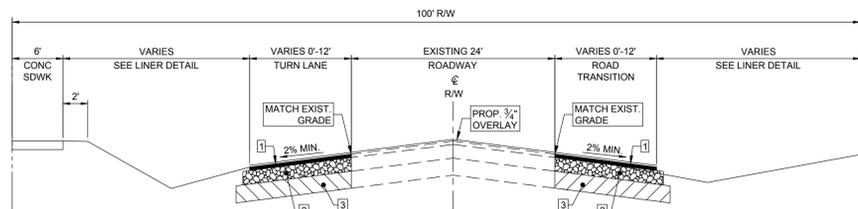
MBV ENGINEERING, INC.
MOA, BOWLES, VILLALBAZAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

OFF-SITE IMPROVEMENTS PLAN

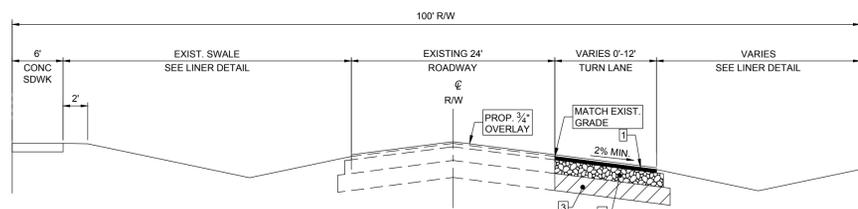
TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

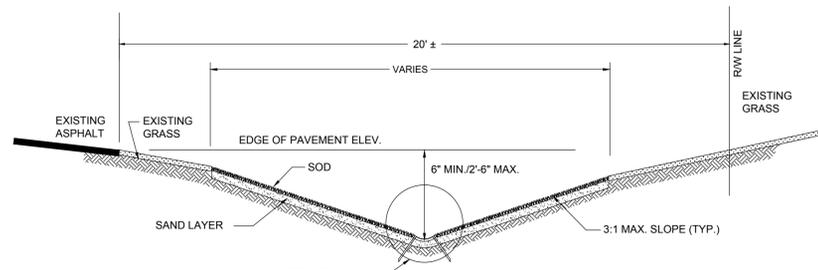
SHEET
C17
OF 24
15-106



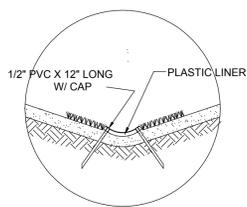
OFF-SITE SECTION OS-A
N.T.S.



OFF-SITE SECTION OS-B
N.T.S.



SECTION VIEW



DETAIL "A"

NOTES:

1. SWALE LINER: 1/4 SECTION OF 12" ID SMOOTH INNER WALL PERFORATED BLACK POLYETHYLENE PIPE.
2. 1/2" DIAMETER X 12" LONG PVC WITH CAP FOR STAKES THRU LINER AT CORRUGATION, EQUAL DISTANCE. (10 PER 20' LENGTH)
3. SOD SHALL BE LAID OVER A 3" THICK SAND LAYER.
4. ALLOW A 1-1/2" GAP BETWEEN LINER SECTIONS FOR EXPANSION.

**CoPSL PLASTIC SWALE LINER
INSTALLATION DETAIL**

N.T.S.

OFF-SITE PAVEMENT NOTES

1. THE WEARING SURFACE SHALL BE 2 1/2" THICK (MIN) IN TWO LIFTS THE FIRST LIFT SHALL BE 1 1/2" TYPE FC-12.5 ASPHALTIC CONCRETE. THE SECOND LIFT SHALL BE PLACED AFTER ALL CONSTRUCTION IS COMPLETE AND SHALL BE 1" TYPE FC-9.5 ASPHALTIC CONCRETE OVER PRIMECOAT. THE SURFACE COURSE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM LABORATORY MARSHALL DENSITY.
2. THE BASE COURSE SHALL BE LIMEROCK (LBR=100), 8" THICK COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557), PLACED IN LIFTS NOT TO EXCEED 6 INCHES.
3. ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUBBASE SHALL EXTEND 12" BELOW THE BASE COURSE, SHALL HAVE A MINIMUM DRY DENSITY OF 115 PCF AND SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY PER A.A.S.H.T.O. SPECIFICATION T-99, METHOD "C". MINIMUM LBR TO BE 40.

OFF-SITE GENERAL NOTES

1. TURN LANES & ROADWAY TRANSITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARDS
2. ALL PAVEMENT MARKINGS, SIGNS, REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT & MUTCD STANDARDS.
3. DIAMETER, LENGTH AND ELEVATIONS OF RCP STORM DRAINAGE WITHIN THE RIGHT-OF-WAY TO BE PROVIDED BY THE CITY OF PORT ST. LUCIE ENGINEERING DEPARTMENT.
4. SWALE LINER TO BE INSTALLED WITHIN SWALES ADJACENT TO ALL ROADWAY IMPROVEMENTS. INVERTS TO BE PROVIDED BY THE CITY OF PORT ST. LUCIE ENGINEERING DEPARTMENT.

REVISIONS	DATE
1 REVISIONS PER O.P.S.E. COMMENTS	3/16/16
2 REVISIONS PER O.P.S.E. COMMENTS	11/26/16
3	
4	
5	
6	
7	

JOB NO	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
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MOA, BOWLES, VILLALBAZAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

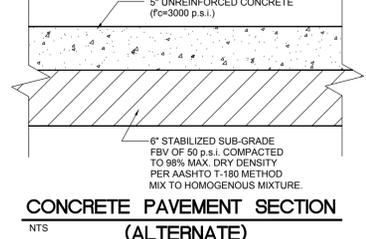
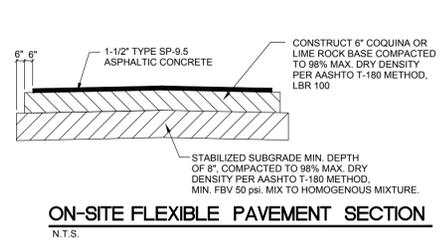
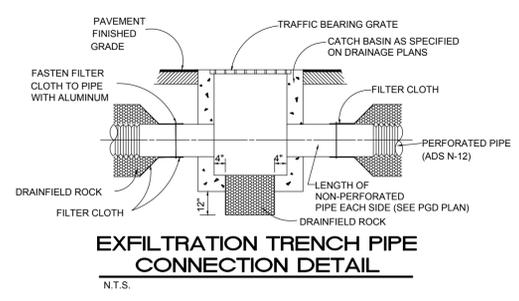
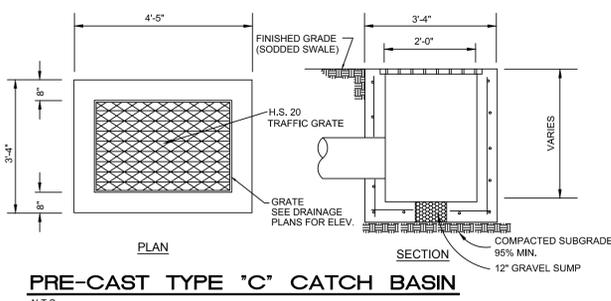
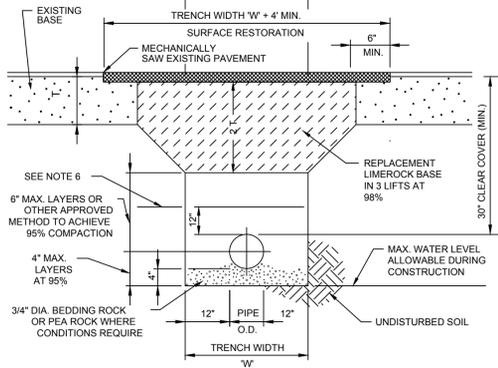
**OFF-SITE IMPROVEMENTS
DETAILS**

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313
DATE: NOV. 28, 2016

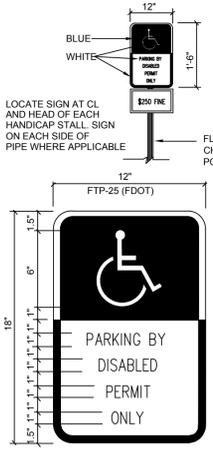
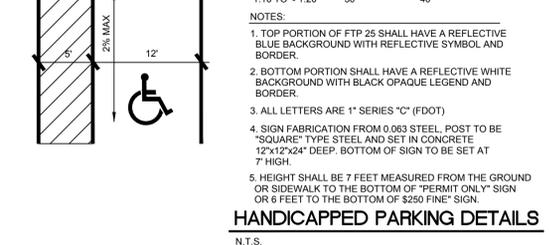
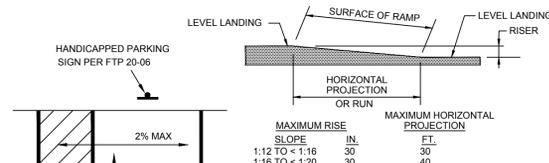
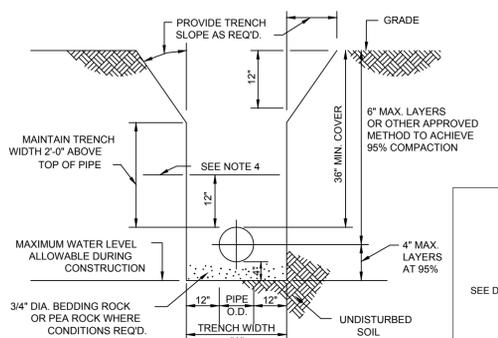
SHEET
C18
OF 24
15-106

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
KNOW WHAT'S BELOW
SUNSHINE11.COM



- NOTES**
- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
 - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
 - NEW SURFACING MATERIALS SHALL BE CONSISTENT WITH EXISTING AND SHALL HAVE LAPPED AND FEATHERED JOINTS. (1-1/2" MIN. THK.)
 - COMPACTION PERCENTAGES SHOWN REFER TO A.A.S.H.T.O. T-180.
 - ALL ROADWAY RESTORATION SHALL COMPLY WITH INDIAN RIVER COUNTY PUBLIC WORKS, F.D.O.T. STANDARDS.
 - MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL.
 - TRENCH WIDTH "W" = PIPE O.D. PLUS 2'-0".
 - USE TRACE WIRE ON MAINS. (SEE DETAIL).

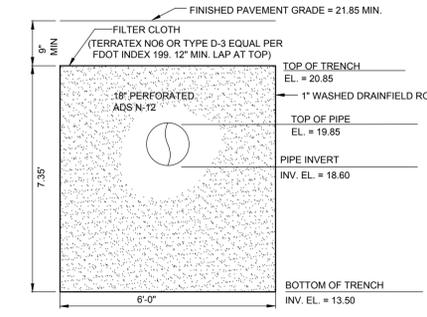
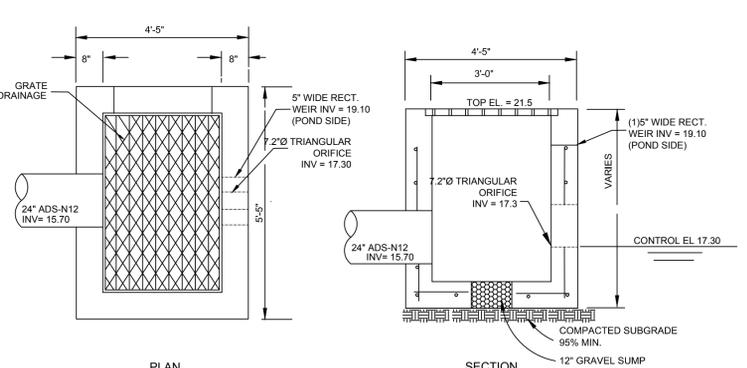
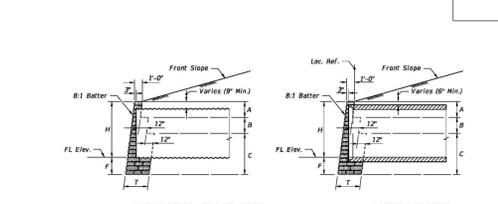
**(PAVED AREAS)
TRENCH DETAIL**
N.T.S.



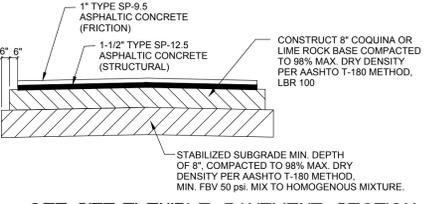
HANDICAPPED PARKING DETAILS
N.T.S.

- NOTES**
- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
 - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
 - COMPACTION PERCENTAGES SHOWN REFER TO A.A.S.H.T.O. T-180.
 - MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL.
 - TRENCH WIDTH "W" = PIPE O.D. PLUS 2'-0".
 - USE TRACE WIRE ON MAINS. (SEE DETAIL).
 - ALL RESTORATION IN EASEMENTS OR RIGHTS OF WAY OR WHEN REQUIRED BY OTHER JURISDICTIONAL AGENCIES IT SHALL CONFORM TO COUNTY UTILITIES SPECIFICATIONS OR THE OTHER JURISDICTIONAL AGENCY SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

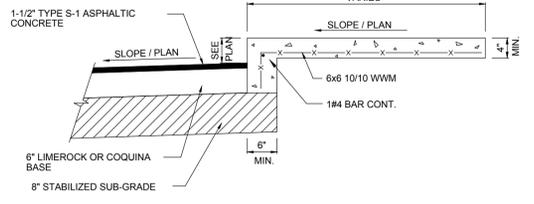
**(UNPAVED AREAS)
TRENCH DETAIL**
N.T.S.



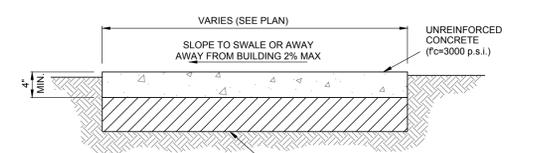
EXFILTRATION TRENCH SECTION
N.T.S.



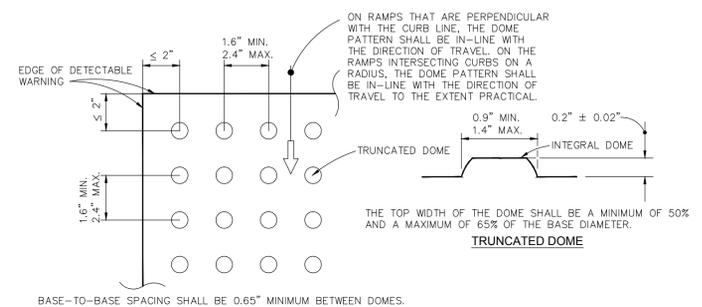
OFF-SITE FLEXIBLE PAVEMENT SECTION
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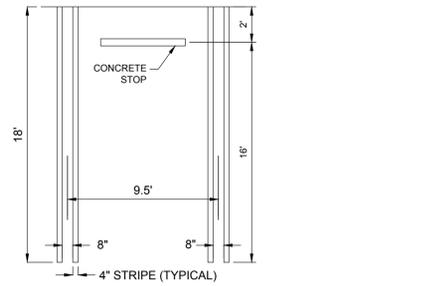
CONCRETE SIDEWALK ADJACENT TO BUILDING DETAIL
N.T.S.



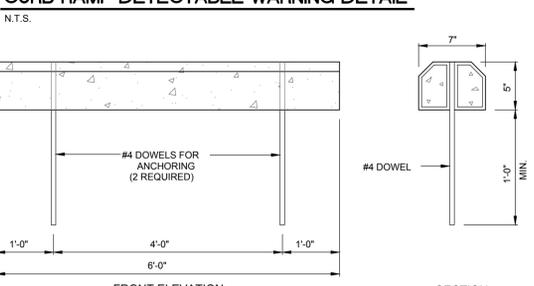
ON-SITE CONCRETE SIDEWALK DETAIL
N.T.S.



CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.



TYPICAL PARKING SPACE STRIPING DETAIL
N.T.S.



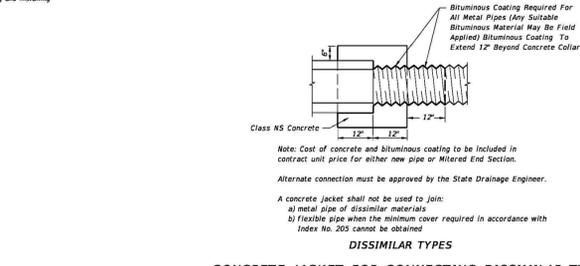
PRE-CAST CONCRETE WHEEL STOP DETAIL
N.T.S.

TABLE OF DIMENSIONS AND QUANTITIES FOR ONE ENDWALL

SIZE OF PIPE	H	T	A	B	C	F	X	ONE PIPE CULVERTS			TWO PIPE CULVERTS			THREE PIPE CULVERTS			FOUR PIPE CULVERTS		
								L	CP	CMP	L	CP	CMP	L	CP	CMP	L	CP	CMP
18"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
24"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
30"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
36"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
42"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
48"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
54"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
60"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
66"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
72"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
78"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3
84"	2'-0"	1'-0"	4'-0"	0'-0"	0'-0"	1'-0"	2'-10"	8'-0"	1.2	1.2	11'-0"	1.5	1.6	14'-0"	1.8	1.9	17'-0"	2.1	2.3

F.D.O.T. INDEX 258 SAND CEMENT ENDWALL
N.T.S.

F.D.O.T. INDEX 280 CONCRETE COLLAR
N.T.S.



**DISSIMILAR TYPES
CONCRETE JACKET FOR CONNECTING DISSIMILAR TYPES OF PIPE AND CONCRETE PIPES WITH DISSIMILAR JOINTS**
N.T.S.

REVISIONS

NO.	DATE	REVISIONS PER O.P.S.	COMMENTS
1	3/16/16		
2	11/26/16		
3			
4			
5			
6			
7			

JOB NO. 15-106

DESIGNED RTM

DRAWN GWR

CHECKED OCT 2015

DATE OCT 2015

SCALE AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
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MBV ENGINEERING, INC.
ASSOCIATES
CONSULTING ENGINEERING & ARCHITECTS
MOA - BOYLES VILLAMAZAR & ASSOCIATES

PAVING, GRADING AND DRAINAGE DETAILS

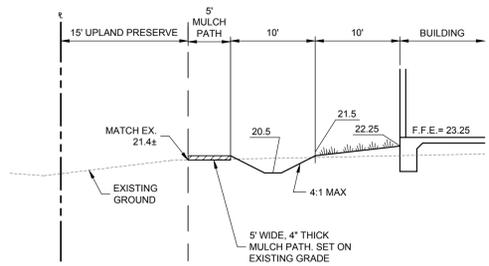
TORINO LAKES

AARON J. BOYLES
FL P.E. #55313

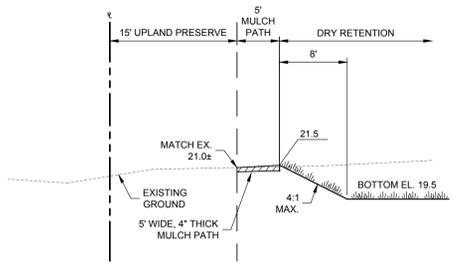
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SHEET **C19** OF 24

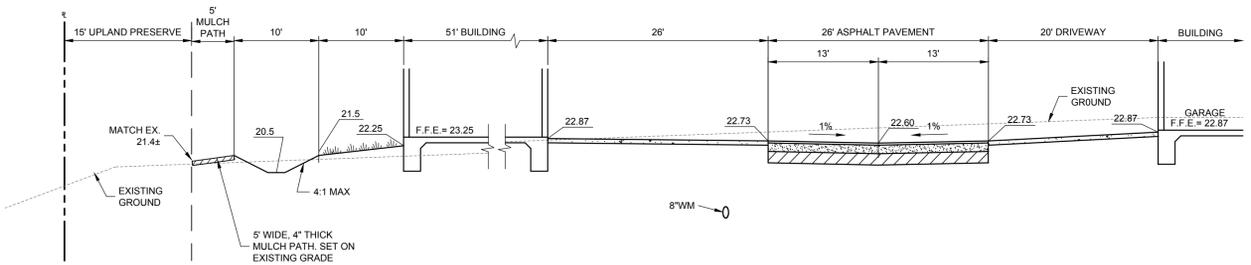
CITY OF PORT ST. LUCIE PROJECT # P16-097



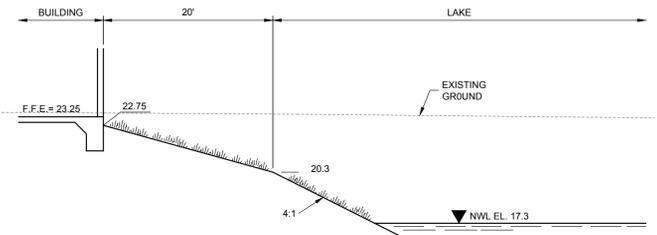
SECTION A-A
N.T.S.



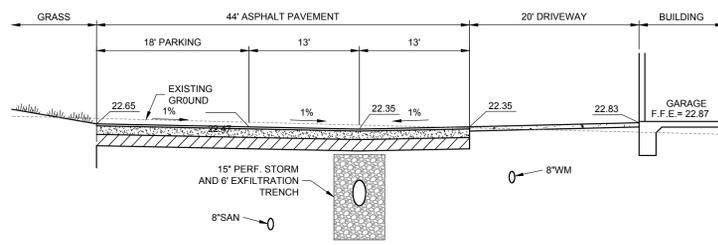
SECTION B-B
N.T.S.



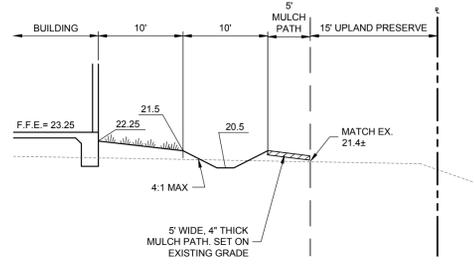
SECTION C-C
N.T.S.



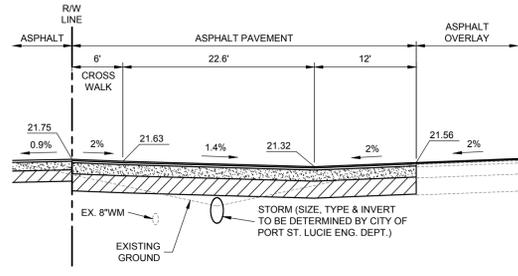
SECTION D-D
N.T.S.



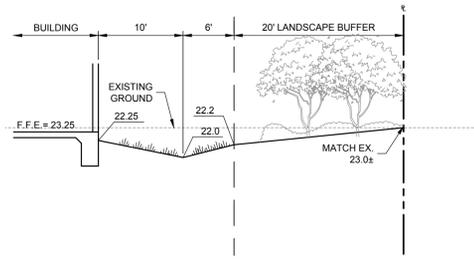
SECTION E-E
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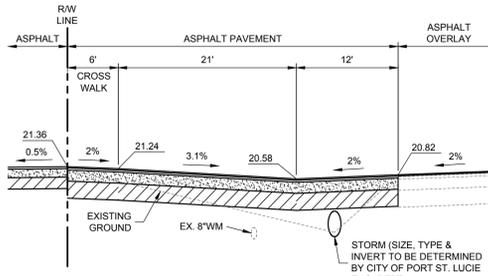
SECTION F-F
N.T.S.



SECTION G-G
N.T.S.



SECTION H-H
N.T.S.



SECTION I-I
N.T.S.

STRUCTURE NUMBER	TOP ELEV	INVERT ELEVATIONS				BOTTOM ELEV	DESCRIPTION
		NORTH	SOUTH	EAST	WEST		
DS-1	19.50	16.80			16.30	TYPE "C" DITCH BOTTOM INLET	
DS-2	21.85	16.80	16.80	18.60	16.30	TYPE "C" DITCH BOTTOM INLET WITH STRUCTURE BOTTOM TYPE "J-5"	
DS-3	22.35		16.50	19.50	16.00	TYPE "C" DITCH BOTTOM INLET	
DS-4	19.50			16.60	16.10	TYPE "C" DITCH BOTTOM INLET	
DS-5	21.50	18.00			17.50	TYPE "C" DITCH BOTTOM INLET	
DS-6	21.85	18.60	17.80	17.80	18.60	17.30	TYPE "C" DITCH BOTTOM INLET
DS-7	21.85		18.60	13.50	15.50	13.00	TYPE "C" DITCH BOTTOM INLET
DS-8	21.85			16.50	16.50	16.00	TYPE "C" DITCH BOTTOM INLET
DS-9	21.85			16.85		16.35	TYPE "C" DITCH BOTTOM INLET
DS-10	19.50				16.35	15.85	TYPE "C" DITCH BOTTOM INLET
DS-11	19.50		15.50			16.00	TYPE "C" DITCH BOTTOM INLET
DS-12	22.50	16.50		18.60		16.00	TYPE "P" STORM MANHOLE
DS-13	22.10		19.50	18.60	18.60	18.10	TYPE "P" STORM MANHOLE
DS-14	21.85			18.60	18.10	17.00	TYPE "C" DITCH BOTTOM INLET
DS-15	21.85	17.50			17.50	17.00	TYPE "C" DITCH BOTTOM INLET
DS-16	22.50	17.40	17.40			16.90	TYPE "C" DITCH BOTTOM INLET
DS-17	22.15	18.10	13.70			13.20	TYPE "C" DITCH BOTTOM INLET
DS-18	22.00		18.10			17.60	TYPE "C" DITCH BOTTOM INLET
DS-19	22.35	14.70	14.70			13.80	TYPE "C" DITCH BOTTOM INLET
DS-20	21.50	13.30	15.00			12.70	MOD. TYPE "E" DITCH BOT. INLET (SEE SHT. C19 FOR DETAIL)
DS-21	21.85	18.35				17.85	TYPE "C" DITCH BOTTOM INLET
DS-22	21.85	18.60	18.00	13.30	13.30	12.80	TYPE "E" DITCH BOTTOM INLET
DS-23	22.00			13.70	13.30	12.80	TYPE "C" DITCH BOTTOM INLET
DS-24	21.85		18.60	15.45	18.60	14.95	TYPE "C" DITCH BOTTOM INLET
DS-25	21.50				18.25	17.75	TYPE "C" DITCH BOTTOM INLET
DS-26	21.85		18.50	18.60		18.00	TYPE "C" DITCH BOTTOM INLET
DS-27	21.85	18.20	18.20			17.70	TYPE "C" DITCH BOTTOM INLET
DS-28	21.65		16.00	16.10	15.20	14.70	TYPE "C" DITCH BOTTOM INLET
DS-29	21.50				16.30	15.80	TYPE "C" DITCH BOTTOM INLET
DS-30	22.00	16.20	16.20			15.70	TYPE "C" DITCH BOTTOM INLET
DS-31	21.85	16.30	16.30			15.80	TYPE "C" DITCH BOTTOM INLET
DS-32	21.60	16.85		16.85		16.35	TYPE "C" DITCH BOTTOM INLET
DS-33	22.00			17.10	17.10	16.60	TYPE "P" STORM MANHOLE
DS-34	21.00				17.75	17.25	TYPE "C" DITCH BOTTOM INLET

* ALL CATCH BASINS TO MEET FDOT INDEX # 232 AND BE LOAD BEARING UNLESS OTHERWISE NOTED

REVISIONS	DATE
1	3/16/16
2	11/26/16
3	
4	
5	
6	
7	

JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED	SCALE
15-106	RTM	GWR	OCT 2015	AJB	OCT 2015	AS NOTED

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MBV
ENGINEERING, INC.
MOA, BOWLES, VILLAMAZAR & ASSOCIATES
CONSULTING ENGINEERING CA #3728

CROSS SECTIONS

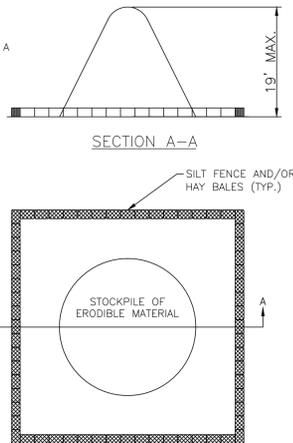
TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313

DATE: NOV. 28, 2016

SHEET
C20
OF 24
15-106

NOTE:
ALL STOCKPILES SHALL BE A
MAXIMUM OF 25' HIGH.



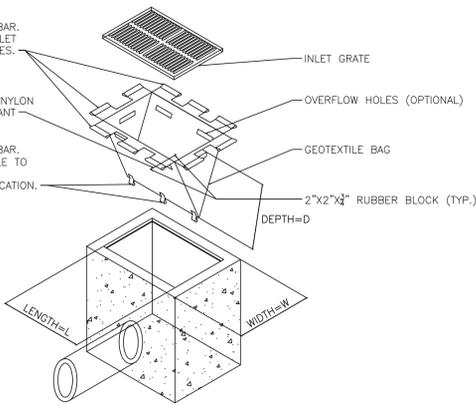
NOTE:
FOR STOCKPILING ERODIBLE
MATERIAL FOR EXTENDED
PERIODS, THE AREA SHALL
BE SEEDED AND MULCHED.

SEDIMENT CONTROL DETAIL FOR STOCKPILING OF
ERODIBLE MATERIAL-N.T.S.

LOOPS SIZED FOR 1" REBAR.
LIFT FILTER BAG FROM INLET
USING REBAR FOR HANDLES.

1/4" BRIGHTLY COLORED NYLON
ROPE, EXPANSION RESISTANT

LOOPS SIZED FOR 1" REBAR.
USE REBAR FOR A HANDLE TO
EMPTY FILTER SACK AT A
SEDIMENT COLLECTION LOCATION.

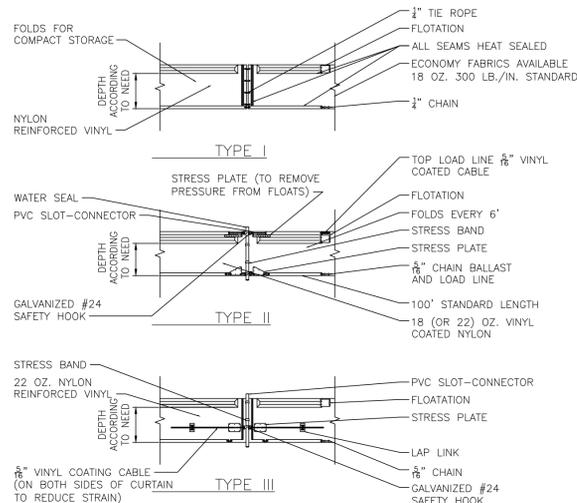


FILTER SACKS FOR
GRATED INLETS AND
STABILIZED
ROADWAYS-N.T.S.

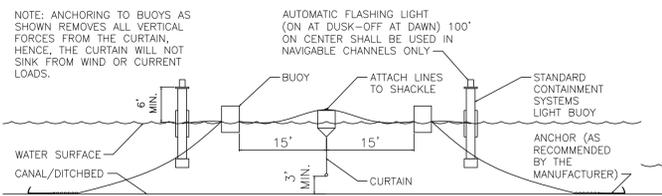
TYPE I. DOT FOR WATERS WITH LOW
CURRENTS (NO MORE THAN ONE FOOT
PER SECOND) AND LIGHT WINDS;
LAKES, PONDS, SMALL STREAMS,
MARSHES. FLEXIBLE TOP FLOTATION
SECTION WITH ENCAPSULATED EPS
FOAM FLOTATION LOGS (6"x6"x4")

TYPE 2. DOT FOR HIGHER CURRENT
WATERS (UP TO FIVE FEET PER
SECOND); DEEPER LAKES, STREAMS,
INTERCOASTAL AND TIDAL AREAS.
INCLUDES AN ENCAPSULATED STEEL
LOAD CABLE ALONG TOP OF BARRIER
AND 8"x8"x4" FLOTATION LOGS. WEAR
STRESS POINTS ARE REINFORCED WITH
SHIELDS.

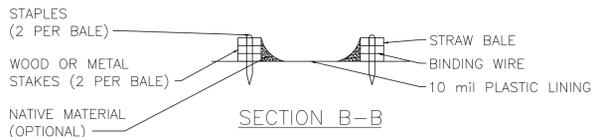
TYPE 3. DOT IS SIMILAR TO TYPE 2.
DOT EXCEPT THAT POLYPROPYLENE
FILTER FABRIC IS PERMANENTLY
INSERTED INTO THE BARRIER SKIRT TO
MEET SOME STATE'S SPECIFICATIONS.



BLOW-UP OF
SHACKLE
CONNECTION



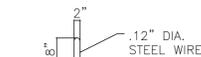
ORIENTATION WHEN INSTALLED
(TIDAL SITUATION-TYPE III)-N.T.S.



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

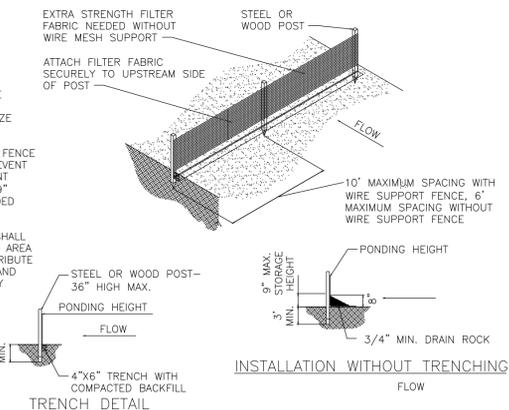
PLAN
TYPE "ABOVE GRADE" WITH STRAW
BALES

CONCRETE & STUCCO WASTE MANAGEMENT-N.T.S.



STAPLE DETAIL

- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.



TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

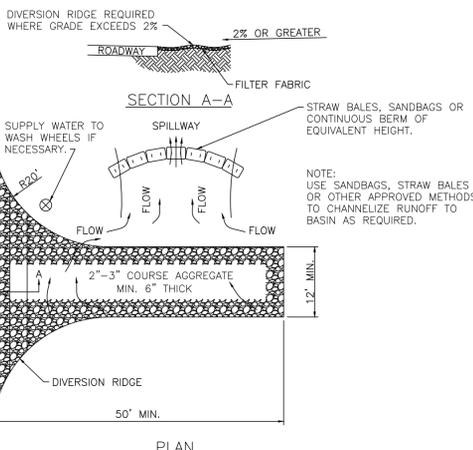
TYPE IV SILT FENCE-N.T.S.

EROSION AND SEDIMENT CONTROL NOTES

Construction activities can result in the generation of significant amounts of pollutants which may reach surface or ground waters. One of the primary pollutants of surface waters is sediment due to erosion. Excessive quantities of sediment which reach water bodies of floodplains have been shown to adversely affect their physical, biological and chemical properties. Transported sediment can obstruct stream channels, reduce hydraulic capacity of water bodies of floodplains, reduce the design capacity of culverts and other works, and eliminate benthic invertebrates and fish spawning substrates by siltation. Excessive suspended sediments reduce light penetration and therefore, reduce primary productivity.

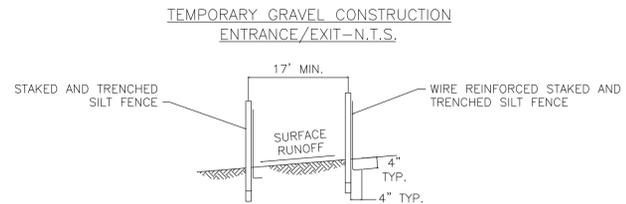
MINIMUM STANDARDS

1. Sediment basin and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-distributing activity and shall be made functional before upslope land disturbance takes place.
2. All sediment control measures are to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface material on balance of site. Perimeter sediment barriers shall be constructed to prevent sediment or trash from flowing or floating on to adjacent properties.
3. Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year.
4. During construction of the project, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
5. A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that, in the opinion of the Reviewer, is uniform, mature enough to survive and will inhibit erosion.
6. Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
7. Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The sediment basin shall be designed and constructed to accommodate the anticipated sediment loading from the land-disturbing activity. The outfall device or system design shall take into account the total drainage area flowing through the disturbed area to be served by the basin.
8. After any significant rainfall, sediment control structures will be inspected for integrity. Any damaged devices shall be corrected immediately.
9. Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
10. Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
11. Sediment will be prevented from entering any storm drain system, ditch or channel. All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
12. Before temporary or newly constructed stormwater conveyance channels are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
13. When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.
14. When a live watercourse must be crossed by construction vehicles, a temporary stream crossing constructed of nonerodible material shall be provided.
15. The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
16. Periodic inspection and maintenance of all sediment control structures must be provided to ensure intended purpose is accomplished. The Developer, owner and/or contractor shall be continually responsible for all sediment leaving the property. Sediment control measures shall be in working condition at the end of each working day.
 - A. No more than 500 linear feet of trench may be opened at one time.
 - B. Excavated material shall be placed on the uphill side of trenches.
 - C. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
 - D. Restabilization shall be accomplished in accordance with these regulations.
17. Where construction vehicle access routes intersect paved public roads, provisions shall be made to minimize the transport of sediment by tracking onto the paved surface, where sediment is transported onto a public road surface with curbs and gutters, the road shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual subdivision lots as well as to larger land-distributing activities.
18. All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, in the opinion of the Reviewer. Disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.
19. Properties and waterways downstream from construction site shall be protected from sediment disposition and erosion.
20. Phased projects should be cleared in conjunction with construction of each phase.
21. Erosion control design and construction shall follow the requirements in Index Nos. 101, 102 and 103 of FDOT Roadway and Traffic Design Standards.
22. The Reviewer may approve modifications or alter plans to these erosion control criteria due to site specific conditions.

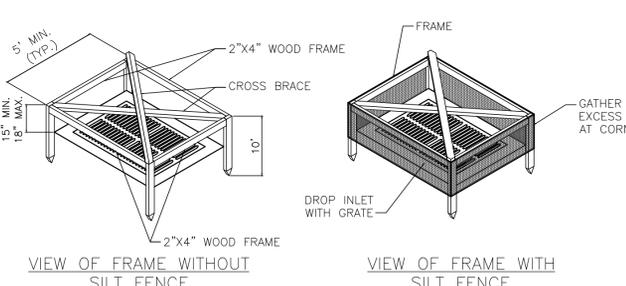


TEMPORARY GRAVEL CONSTRUCTION
ENTRANCE/EXIT-N.T.S.

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN UP OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



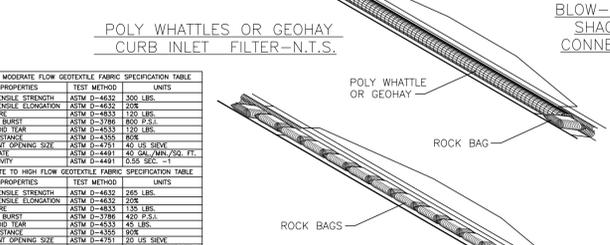
DOUBLE ROW STAKED SILT FENCE FOR USE AROUND
WETLANDS-N.T.S.



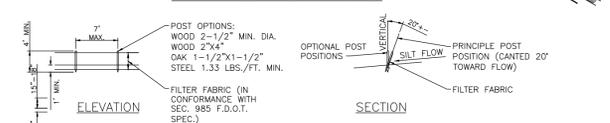
SILT FENCE INLET PROTECTION-N.T.S.



PROTECTIVE FENCING FOR
TREES-N.T.S.



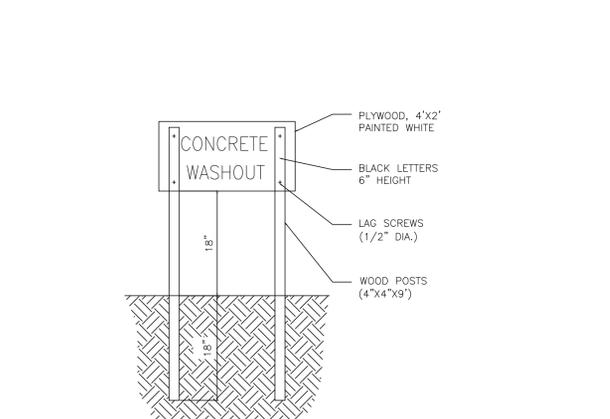
POLY WHATTLES OR GEOHAY
CURB INLET FILTER-N.T.S.



SOCK-PIPE OR ROCK BAG
INLET FILTER-N.T.S.



SILT FENCE APPLICATIONS-N.T.S.



CONCRETE WASHOUT SIGN
DETAIL (OR EQUIVALENT)

DATE:	3/16/16
REVISIONS:	1 REVISIONS PER C.P.S. COMMENTS 11/26/16
DESIGNED:	RTM
DRAWN:	GWR
CHECKED:	OCT 2015
DATE:	OCT 2015
ISSUED:	AS NOTED
SCALE:	
JOB NO:	15-106
1835 - 20TH STREET VERO BEACH, FL 32960 PH. (772) 569-0035 FX. (772) 778-3617	
MELBOURNE, FL - PH (321) 253-1510 FT. PIERCE, FL - PH (772) 468-9055	
MBV ENGINEERING, INC. MOA, BOYLES, VILLAMAR & ASSOCIATES CONSULTING ENGINEERING & CA #3728	
EROSION CONTROL DETAILS	
TORINO LAKES	
FLORIDA	
CITY OF PORT ST. LUCIE	
AARON J. BOYLES FL P.E. #55313	
DATE: NOV. 28, 2016	
SHEET C21 OF 24	
15-106	

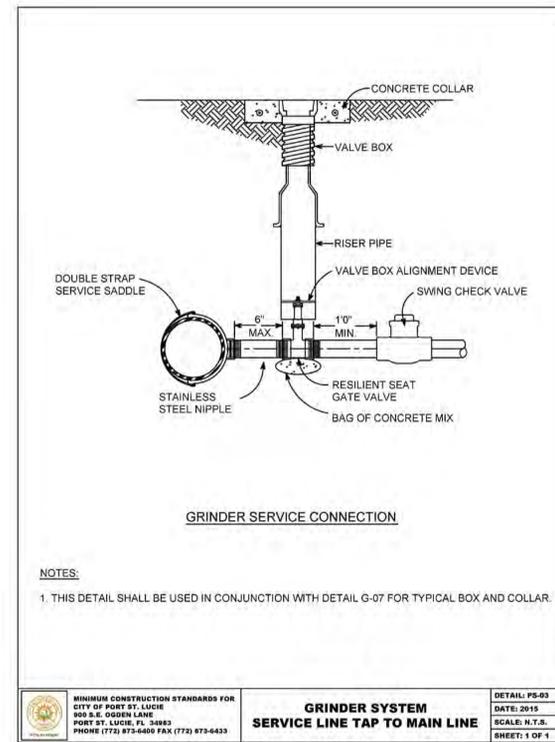
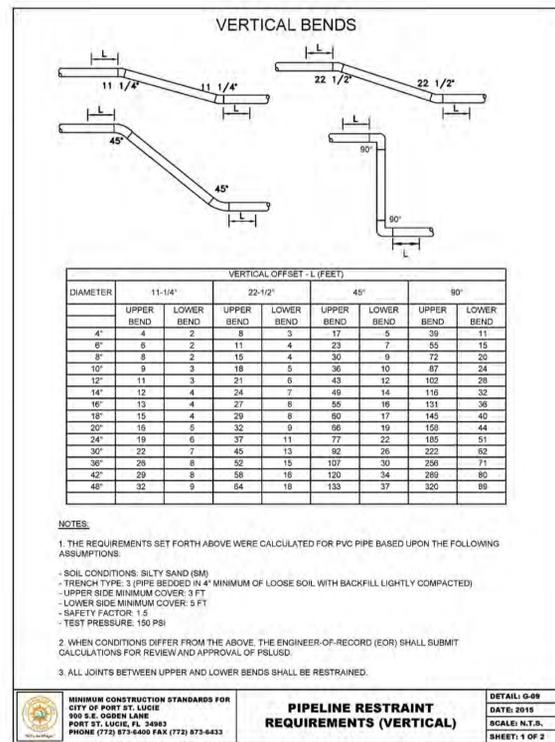
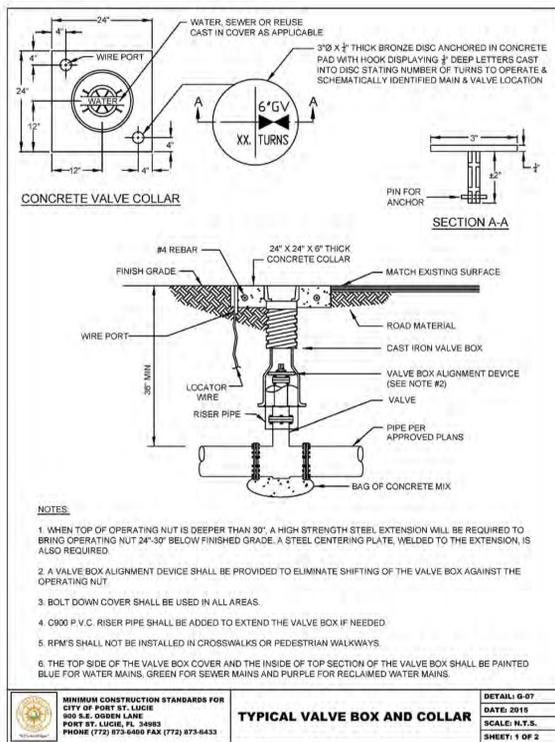
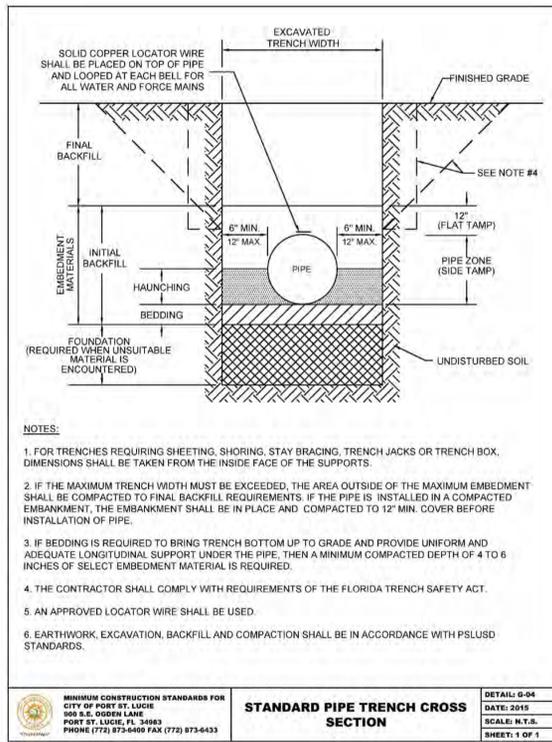
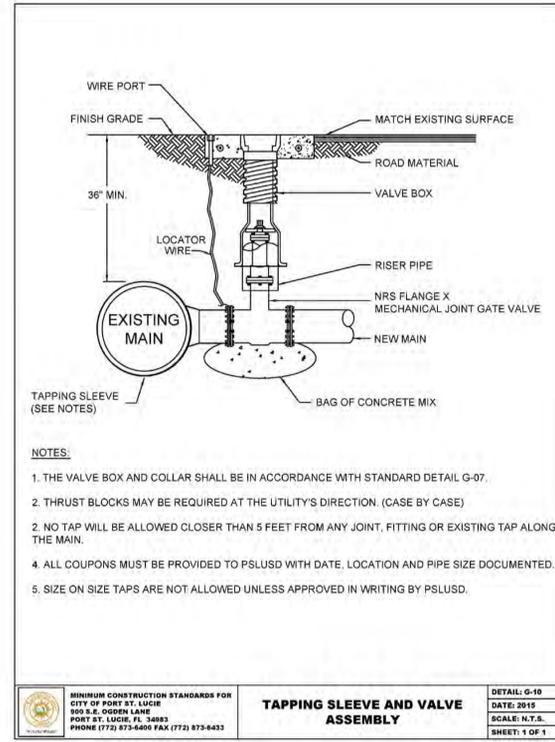
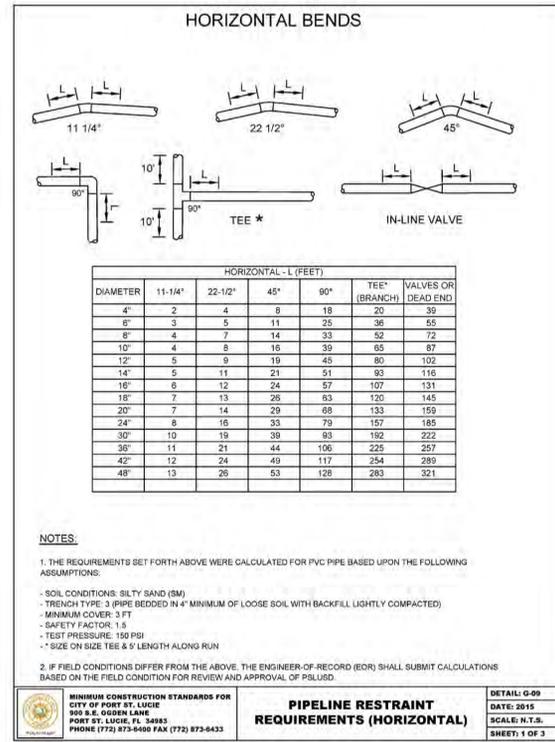
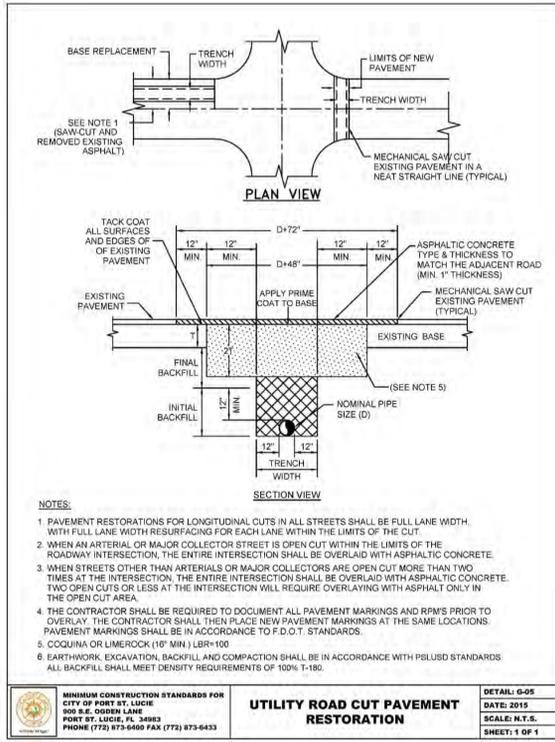
OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (3), VACUUM SANITARY SERVICE	WATER MAIN 12" MINIMUM	WATER MAIN 18" MINIMUM	WATER MAIN 6" MINIMUM
ALL OTHER FACILITIES, INCLUDING BUT NOT LIMITED TO: STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2), TELEPHONE, CABLE TV, POWER, ETC.	PSLUSD FACILITY (4) 5" MINIMUM	PSLUSD FACILITY (4) 18" MINIMUM	WATER MAIN 6" MINIMUM
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM	12" MINIMUM

(1) WATER MAIN SHOULD CROSS OVER OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 18".

(2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(4) A PSLUSD FACILITY INCLUDES MAINS AND STRUCTURES FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER. WHEN A GRAVITY SEWER IS TO BE INSTALLED PARALLEL TO A DRAINAGE PIPE GREATER THAN 15" DIAMETER A MINIMUM HORIZONTAL SEPARATION OF 15" SHALL BE MAINTAINED. GREATER SEPARATION MAY BE REQUIRED BY PSLUSD FOR PIPES LARGER THAN 24" IN DIAMETER. WHEN A FORCE MAIN OR RECLAIMED WATER MAIN IS TO BE INSTALLED PARALLEL TO A DRAINAGE PIPE A MINIMUM HORIZONTAL SEPARATION OF 8" SHALL BE MAINTAINED. A GREATER SEPARATION MAY BE REQUIRED FOR DRAINAGE PIPES LARGER THAN 48" IN DIAMETER.



REVISIONS	DATE
1	3/16/16
2	11/26/16
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1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
FX. (772) 778-3617

MELBOURNE, FL - PH (321) 253-1510
FT. PIERCE, FL - PH (772) 468-9055



MOA, BOYLES, VILLALBAZAR & ASSOCIATES
CONSULTING ENGINEERING & CA #3728

UTILITY DETAILS

TORINO LAKES

FLORIDA

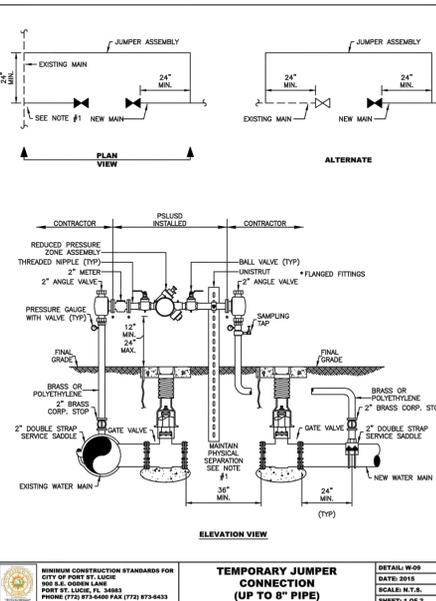
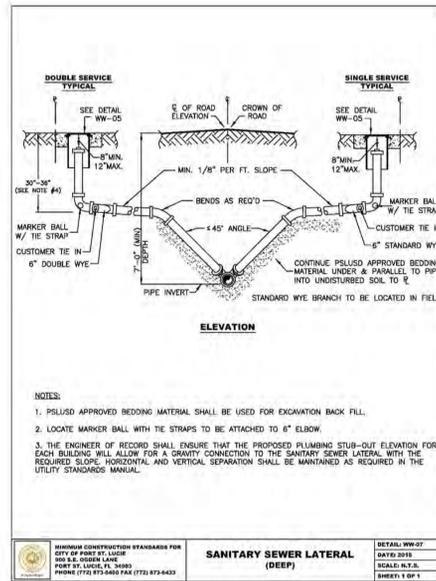
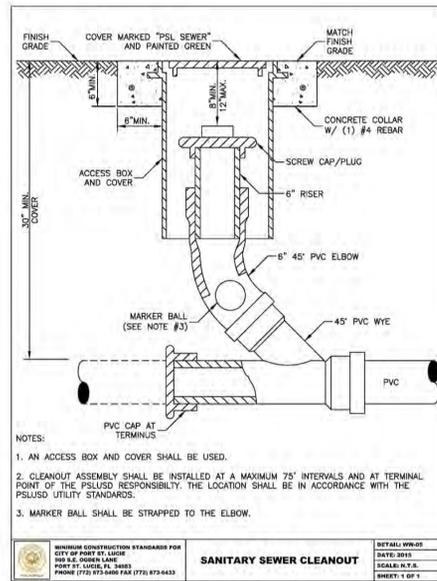
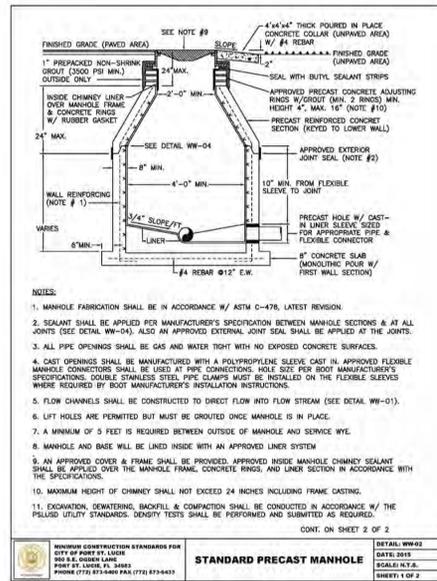
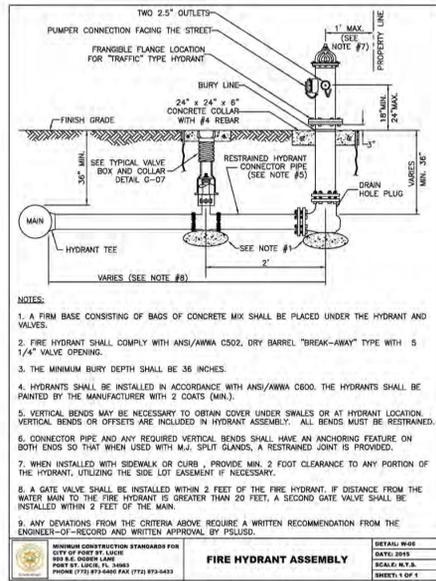
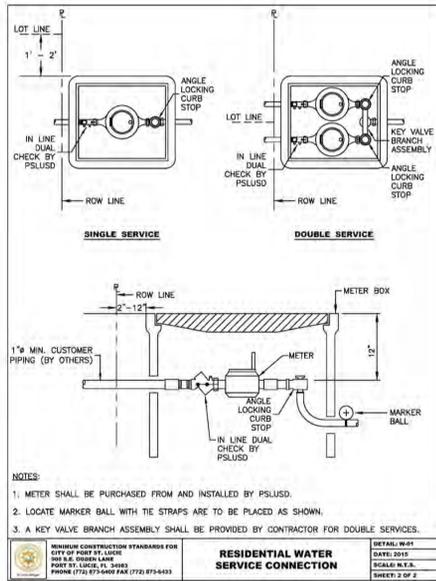
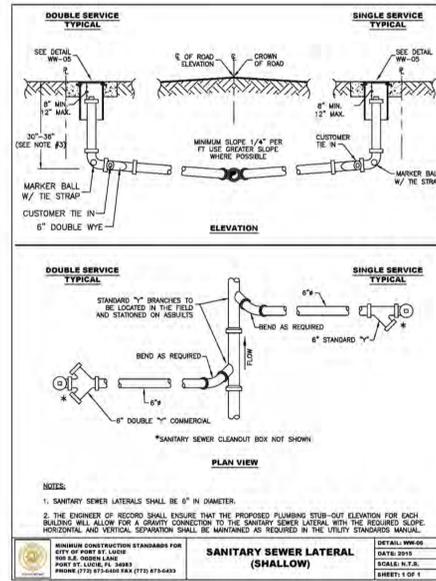
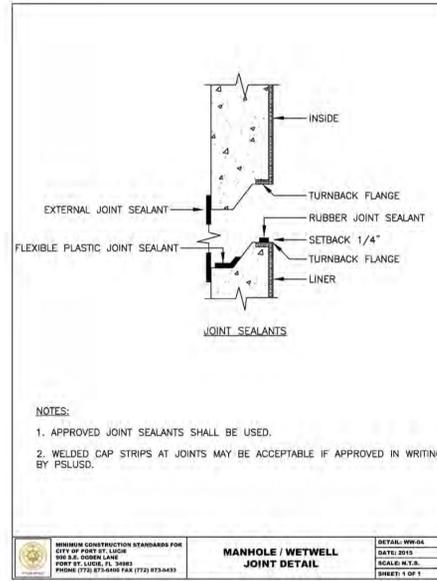
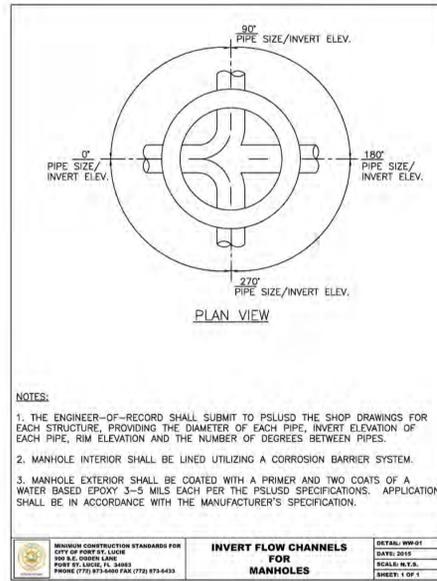
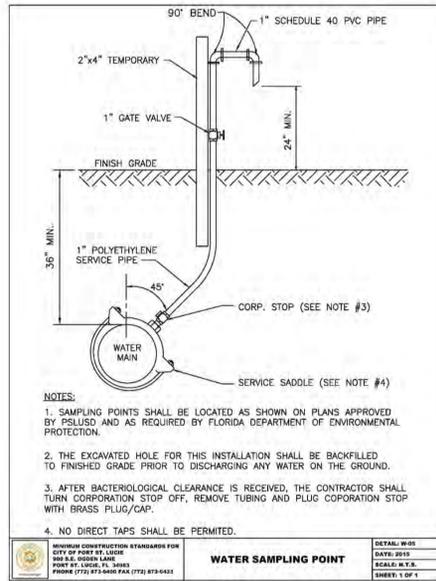
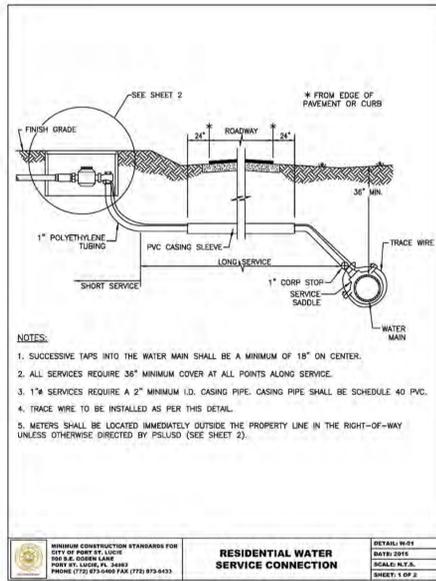
CITY OF PORT ST. LUCIE

AARON J. BOYLES
FL P.E. #55313

DATE: NOV. 28, 2016

SHEET
C22
OF 24

15-106



REVISIONS	DATE
1	3/16/16
2	11/28/16
3	
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JOB NO.	15-106
DESIGNED	RTM
DRAWN	GWR
DATE	OCT 2015
CHECKED	AJB
DATE ISSUED	OCT 2015
SCALE	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
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UTILITY DETAILS

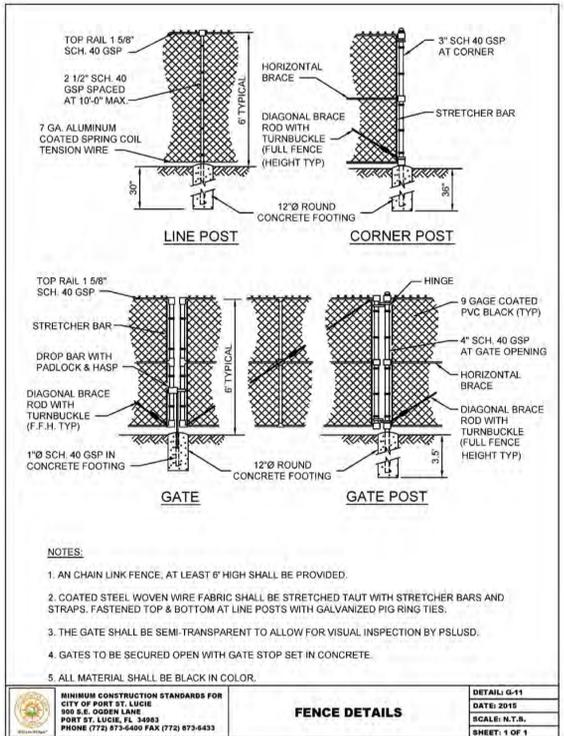
TORINO LAKES

CITY OF PORT ST. LUCIE
FLORIDA

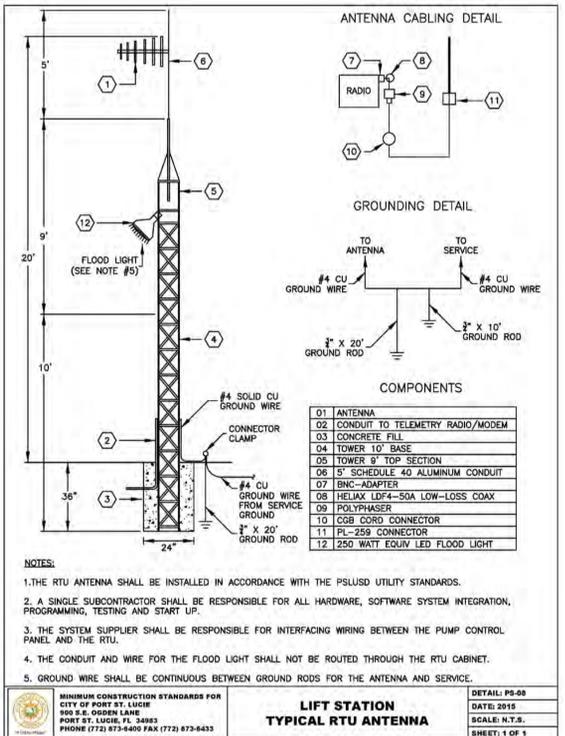
AARON J. BOWLES
FL P.E. #55313

DATE: NOV. 28, 2016

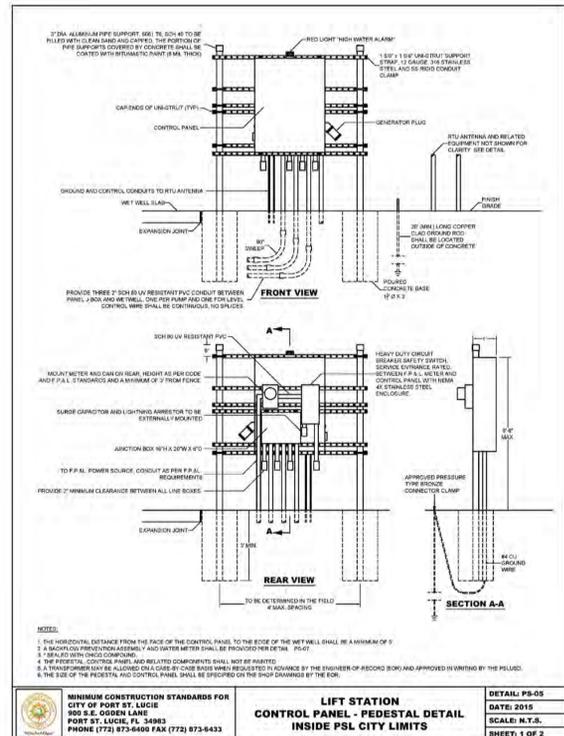
SHEET
C23
OF 24



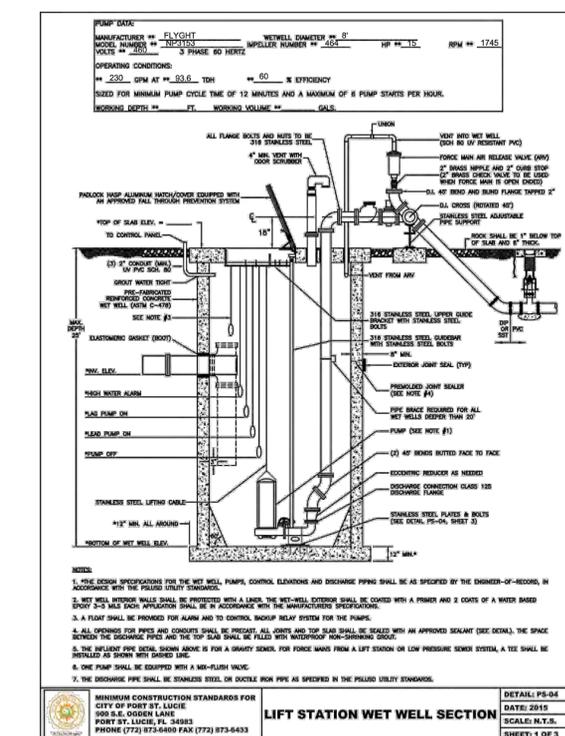
MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	FENCE DETAILS	DETAIL: PS-01 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 1
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MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION TYPICAL RTU ANTENNA	DETAIL: PS-09 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 1
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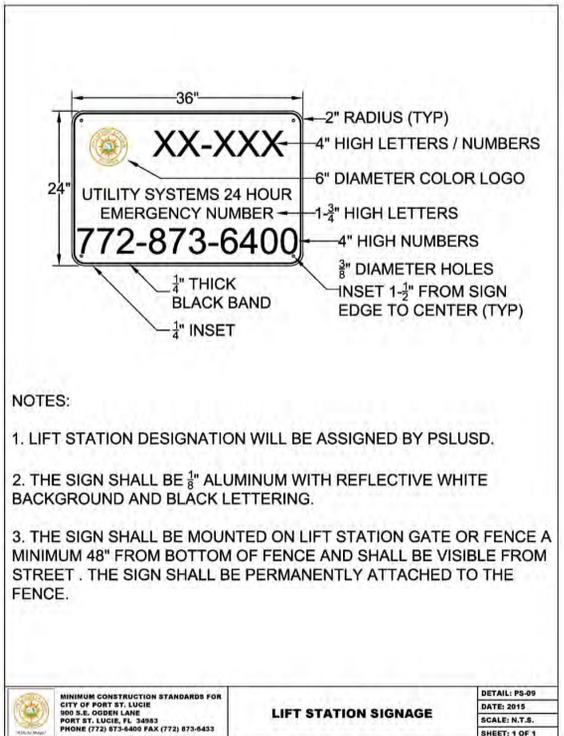


MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION CONTROL PANEL - PEDAESTAL DETAIL INSIDE PSL CITY LIMITS	DETAIL: PS-05 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 2
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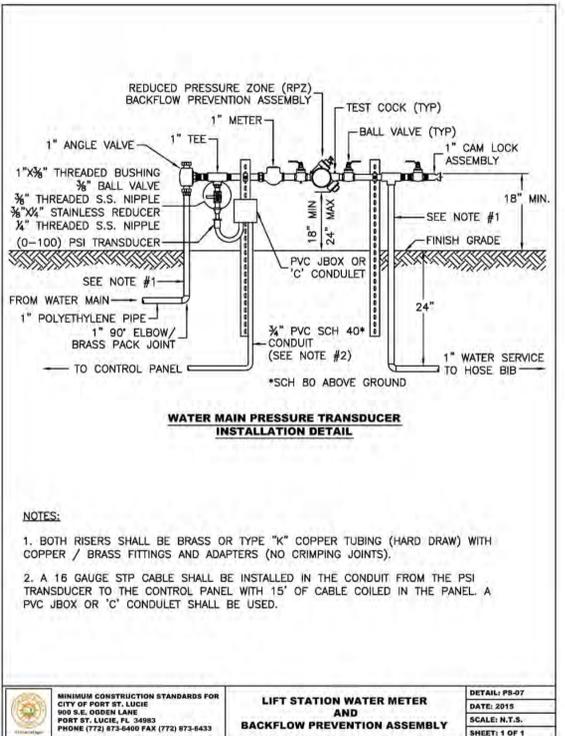


MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION WET WELL SECTION	DETAIL: PS-04 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 3
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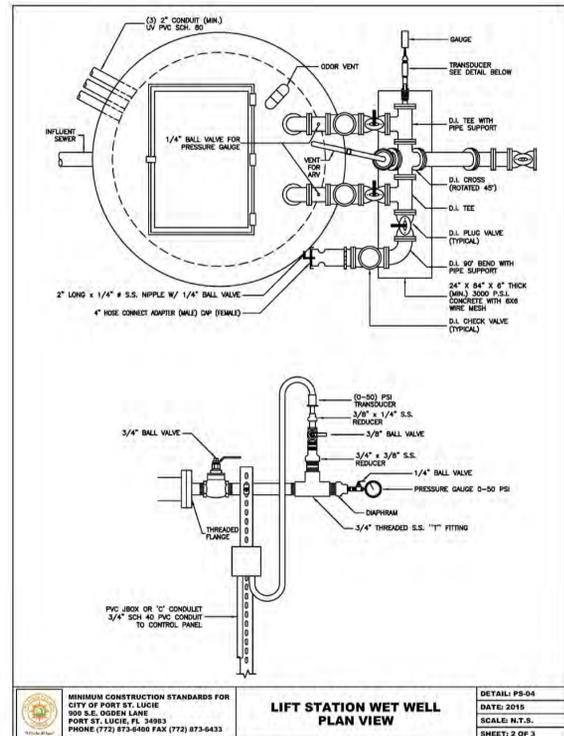
Pump Model Number	NP3153
Pump Manufacturer	Flygt
Pump Type	Non-Clog
Motor Power	15
Impeller	464
Phase	3
Voltage	480
Cycles (Hz)	60
RPM	1745
Shut Off Head (ft)	112
Best Efficiency Point Flow (gpm)	580
Best Efficiency Point Head (ft)	63
Pump Efficiency @ BEP Point (%)	70
Run Out Flow (gpm)	1100
Run Out Head (ft)	20
"A" Wet Well Rim Elevation (NAVD)	22.50
"B" Wet Well Diameter (ft)	9
"C" Wet Well Bottom Elevation (NAVD)	5.23
"D" Influent Pipe Invert Elevation (NAVD)	10.93
"E" Influent Pipe Diameter (in)	8
"F" Lag Pump 2 On Elevation (Triplex only)	9.3
"G" Lag Pump On Elevation (NAVD)	9.93
"H" Lead Pump On Elevation (NAVD)	9.43
"I" Pump Off Elevation (NAVD)	8.40
"J" Alarm Elevation (NAVD)	10.43
"K" Emergency Off Elevation (NAVD)	10.43
"L" Discharge Pipe Diameter (in)	6
"M" Discharge Pipe Elevation (NAVD)	4
"N" Pump Submergence (in)	38
"O" Pump Discharge Diameter (in)	4
"P" C/L of wetwell to C/L of pump (in)	18
"R" C/L of wetwell to C/L of pump bolts (in)	15.75
"S" C/L of pump to C/L of pump (in)	32
"T" Wet Well Hatch (in)	66
"U" Wet Well Vault (in)	40
"V" Exterior Valve Vault (in)	N/A
"W" Exterior Valve Vault (in)	N/A
"X" Valve Vault Hatch (in)	N/A
"Y" Valve Vault Hatch (in)	N/A
"Z" C/L of Wet Well to Inside Edge of Hatch	13



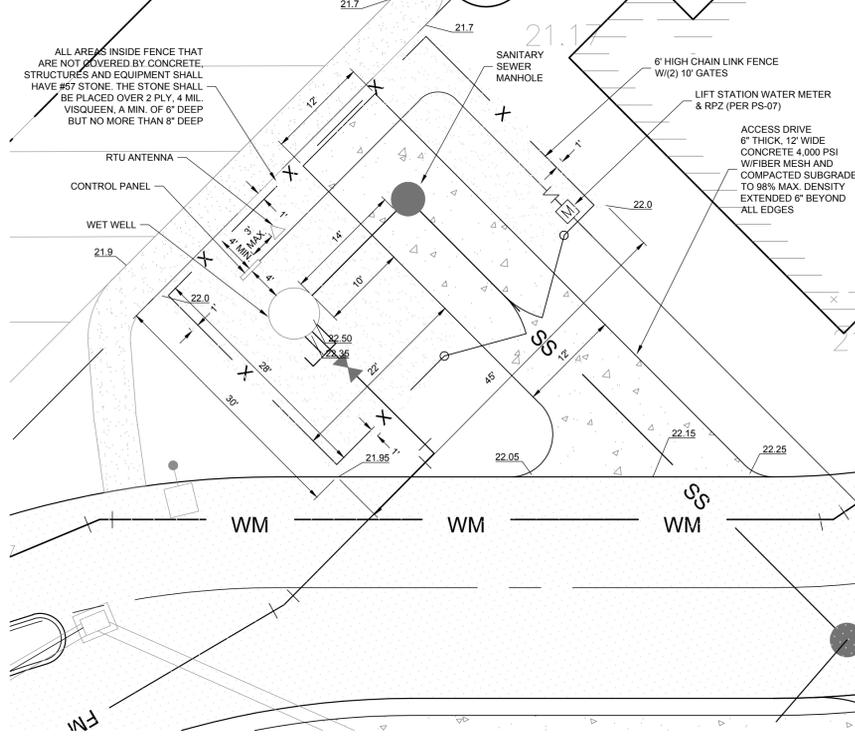
MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION SIGNAGE	DETAIL: PS-09 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 1
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MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION WATER METER AND BACKFLOW PREVENTION ASSEMBLY	DETAIL: PS-07 DATE: 2015 SCALE: N.T.S. SHEET: 1 OF 1
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MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION WET WELL PLAN VIEW	DETAIL: PS-04 DATE: 2015 SCALE: N.T.S. SHEET: 2 OF 3
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MINIMUM CONSTRUCTION STANDARDS FOR CITY OF PORT ST. LUCIE 300 S.E. OGDEN LANE PORT ST. LUCIE, FL 34983 PHONE (772) 873-6400 FAX (772) 873-6433	LIFT STATION SITE PLAN	DETAIL: PS-04 DATE: 2015 SCALE: N.T.S. SHEET: 2 OF 3
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DATE: 3/16/16	REVISIONS	15-106	JOB NO: 15-106	1835 - 20TH STREET	VERO BEACH, FL 32960	PH: (772) 569-0035	FX: (772) 778-3617	MELBOURNE, FL - PH (321) 253-1510	FT. PIERCE, FL - PH (772) 468-9055
1 REVISIONS PER COPS COMMENTS	2 REVISIONS PER COPS COMMENTS	3	DESIGNED: RTM	DR/AVW	GWR	CHECKED: OCT 2015	DATE ISSUED: OCT 2015	SCALE: AS NOTED	
		4							
		5							
		6							
		7							

MBV ENGINEERING, INC.
ASSOCIATES
CONSULTING ENGINEERING & CA #3728
MOA, BOULEVARD ALAMAZAR & ASSOCIATES

TORINO LAKES
CITY OF PORT ST. LUCIE
FLORIDA

AARON J. BOWLES
FL P.E. #55313

DATE: NOV. 28, 2016

SHEET
C24
OF 24

CITY OF PORT ST. LUCIE PROJECT # P16-097



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING AND ZONING BOARD - MEETING OF DECEMBER 6, 2016

FROM: KATHERINE H. HUNTRESS, PLANNER *Keth*

RE: LG GATLIN & IMPORT/GATLIN COMMONS
VARIANCE APPLICATION
P16-188

DATE: NOVEMBER 21, 2016

REQUESTED VARIANCE: The request is to eliminate the existing vehicular connection to the adjacent property to the east and allow Parcel 7 to be developed without a vehicular connection to the adjacent property to the east. Section IV(A)(5) of the City of Port St. Lucie Citywide Design Standards requires vehicular connections between adjacent parcels and buildings.

APPLICANT: Stacey Bridenback of LG Gatlin & Import, LLC

OWNER: LG Gatlin & Import, LLC

LOCATION: The property is located on the south side of Gatlin Boulevard, west of Import Drive, east of Brigantine Place, and north of Aledo Lane

LEGAL DESCRIPTION: Parcel 7, Gatlin Commons

SIZE: 1.29 acres

EXISTING ZONING: Gatlin Commons PUD (Planned Unit Development)

EXISTING USE: Vacant land

SURROUNDING USES:

	Future Land Use	Zoning	Existing Use
N	ROI & CG	CG	Vacant land
S	CS	PUD	Commercial development
E	CS	PUD	Commercial development
W	CS	PUD	Commercial development

IMPACTS AND FINDINGS:

Compatibility with variance criteria:

- 1) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
 - a. *Applicant response: Due to Parcel 7's irregular shape and atypical 25' natural vegetative buffer, the small site allows limited site configurations. The existing location of the cross access entrance curb cut creates circulation issues and results in the creation of dead end parking and the net loss of eight parking spaces.*
 - b. *Staff evaluation: This developer's situation is not unique in that the developers of other projects in the city were required and will be required to provide cross access connections between adjacent parcels and buildings. The existing bank adjacent to the east has provided the cross access connection as required.*
- 2) That the special conditions and circumstances do not result from any action of the applicant.
 - a. *Applicant response: The parcel's irregular shape, 25' natural vegetative buffer, and the existing location of the cross access curb cut did not result from any actions taken by the applicant. Efforts were made to reconfigure the site to keep the existing cross access entrance and improve circulation but the parcel's restrictions did not allow for an improved alternative.*
 - b. *Staff evaluation: There are no special conditions or circumstances. The applicant can design the site to accommodate the existing required cross access connection, but they are choosing not to do so.*
- 3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district.

- a. Applicant response: *There are many other commercial developments within the same shopping center and zoning district that have no cross access entrance. Granting this variance will not confer on the applicant any special privilege denied to other developments within the same zoning district. Rather, maintaining this cross access will restrict the applicant from being able to develop the site in a similar way to the neighboring properties within the same zoning district and with the same current and future land use categories.*
- b. Staff evaluation: *Section 158.296 of the zoning code states that in its consideration of a request for variance, the Planning and Zoning Board shall not utilize the existence of nonconforming use of neighboring lands, structures, or buildings in the same or adjacent zoning districts as grounds for the granting of a request for variance, nor shall the Planning and Zoning Board utilize any permitted use of lands, structure or buildings with the same or adjacent zoning districts as a basis for approval. Granting the variance will confer on the applicant special privilege that is denied to other lands currently or to be zoned a PUD.*
- 4) That literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant.
- a. Applicant response: *Section IV(A)(5) is a common code requirement in many jurisdictions typically intended to limit curb cuts along public roadways. This parcel, however, does not have access from SW Gatlin Boulevard and is instead accessed only via a private drive aisle on the Wal-Mart parcel. The Taco Bell to the west of the site has no cross access entrance, and neither do any of the commercial buildings to the east of Import Drive within Gatlin Commons. Maintaining the existing cross access curb cut would deny the applicant the ability to develop the site similarly to neighboring properties.*
- b. Staff evaluation: *Section IV(A)(5) states that pedestrian and vehicular connections shall be provided between adjacent parcels and buildings. Cross access agreements shall be obtained by adjacent property owners. The existing cross access connection has been constructed for this purpose. The applicant has not provided substantial evidence of hardship.*
- 5) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.
- a. Applicant response: *There are no further variances required in order to make possible the reasonable use of the aforementioned property for the applicant's proposed development. There are also no lesser variances that could be approved that would have the same positive*

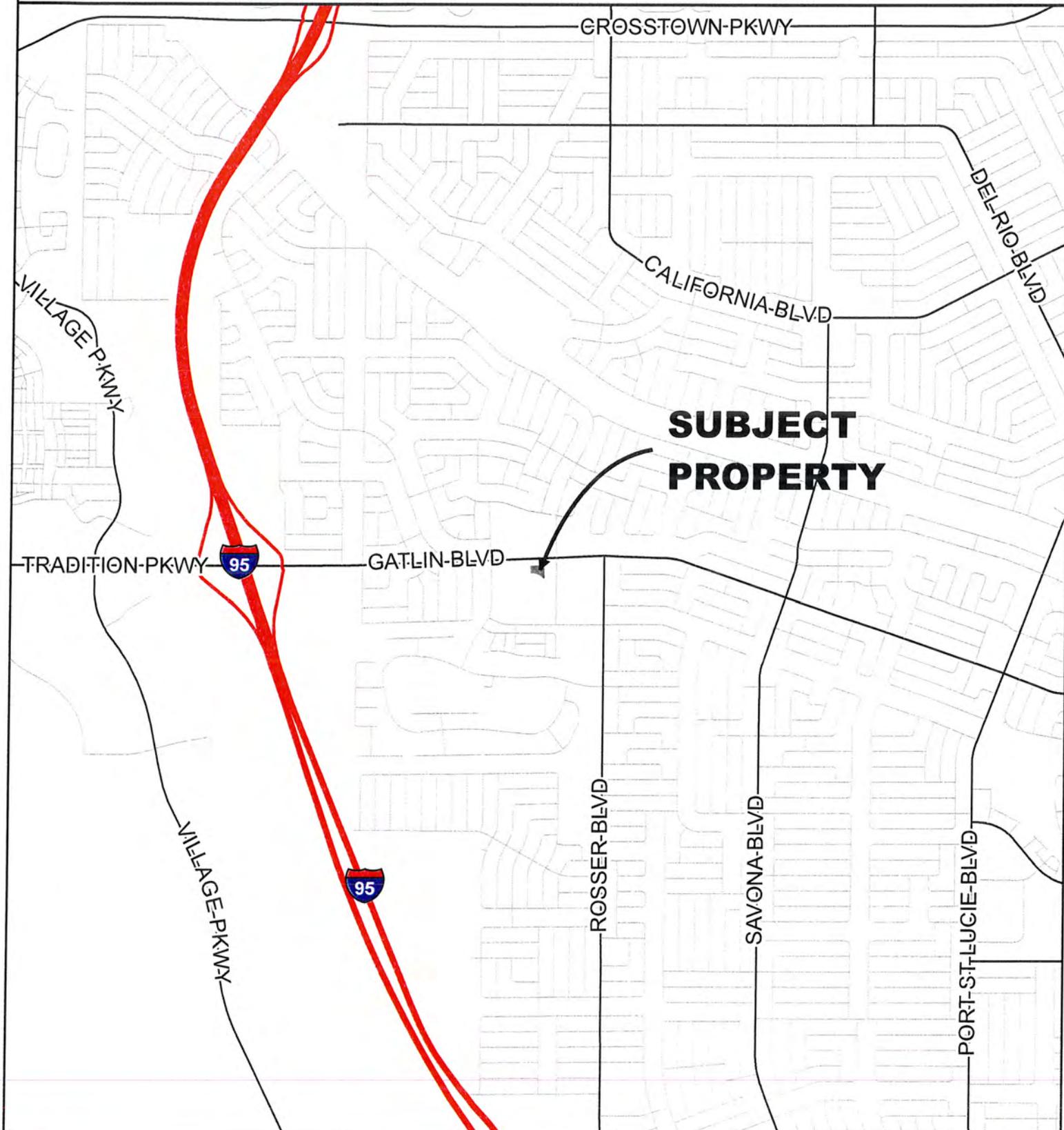
impact and reasonably allow for the site to be developed in a manner similar to other site within Gatlin Commons that are located within the same zoning district and have the same current and future land use categories.

- b. Staff evaluation: *It has not been demonstrated that there would not be reasonable use of the land. It appears that the variance has been requested to allow the building square footage to be maximized.*
- 6) That the granting of the variance will be in harmony with the general intent and purpose of the chapter and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
- a. Applicant response: *The intent of Section IV(A)(5) within the Citywide Design Standards Manual is to limit curb cuts along public roadways in order to improve traffic safety and efficiency along the roads. Because there are no proposed connections to public roadways, logically the granting of the variance has no effect upon traffic safety or efficiency.*
- b. Staff evaluation: *The general intent and purpose of this section of the design standards is to allow for convenient vehicular cross access between the existing development and the proposed development. By granting the variance, this access will not be available. Vehicular traffic going from one business to the other will have to exit the property, travel onto the Wal-Mart access drive, and back into the adjacent property, causing additional congestion and poor traffic circulation.*
- 7) That there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.
- a. Applicant response: *With the granting of this variance there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe.*
- b. Staff evaluation: *Acknowledged.*

STAFF RECOMMENDATION: The Planning and Zoning Department staff finds the request to be inconsistent with variance criteria as stipulated in Section 158.295(C) of the Zoning Code and recommends denial.

(NOTE TO APPLICANT: Any request for a variance that is denied by the Planning and Zoning Board may be appealed to the Board of Zoning Appeals. Appeal applications are made through the City Clerk's office and must be submitted within 15 days after the Planning and Zoning Board hearing).

GENERAL LOCATION



**SUBJECT
PROPERTY**



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

VARIANCE
LG GATLIN & IMPORT, LLC
GATLIN COMMONS, PARCEL 7

DATE:	11/8/2016
APPLICATION NUMBER:	P16-188
USER:	patricias
SCALE:	1 in = 0.5 miles

AERIAL



GATLIN BLVD

**SUBJECT
PROPERTY**

IMPORT DR



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

VARIANCE

LG GATLIN & IMPORT, LLC
GATLIN COMMONS, PARCEL 7
AERIAL DATE 2014

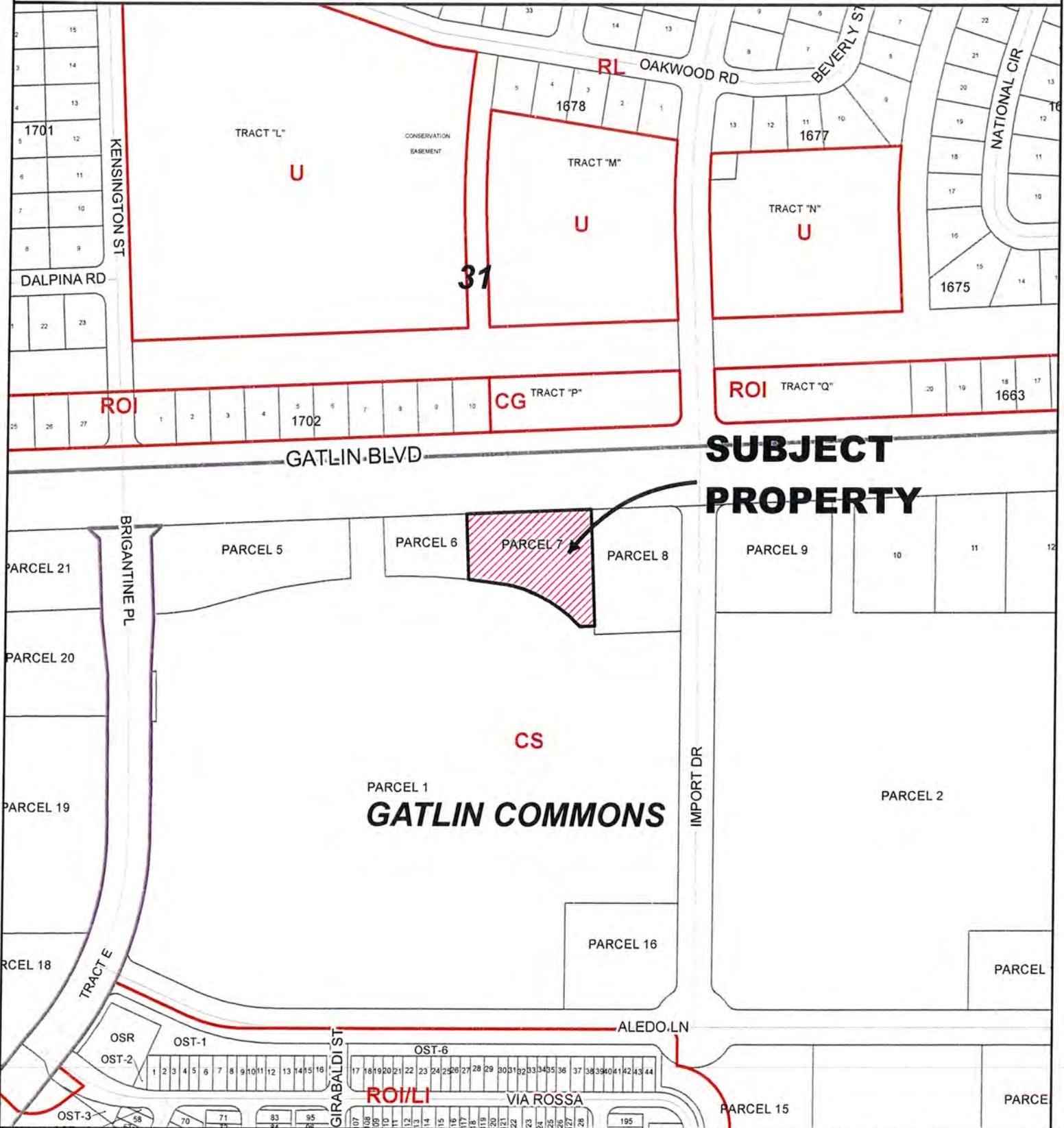
DATE: 11/8/2016

APPLICATION NUMBER:
P16-188

USER: patricias

SCALE: 1 in = 150 ft

FUTURE LAND USE



**SUBJECT
PROPERTY**

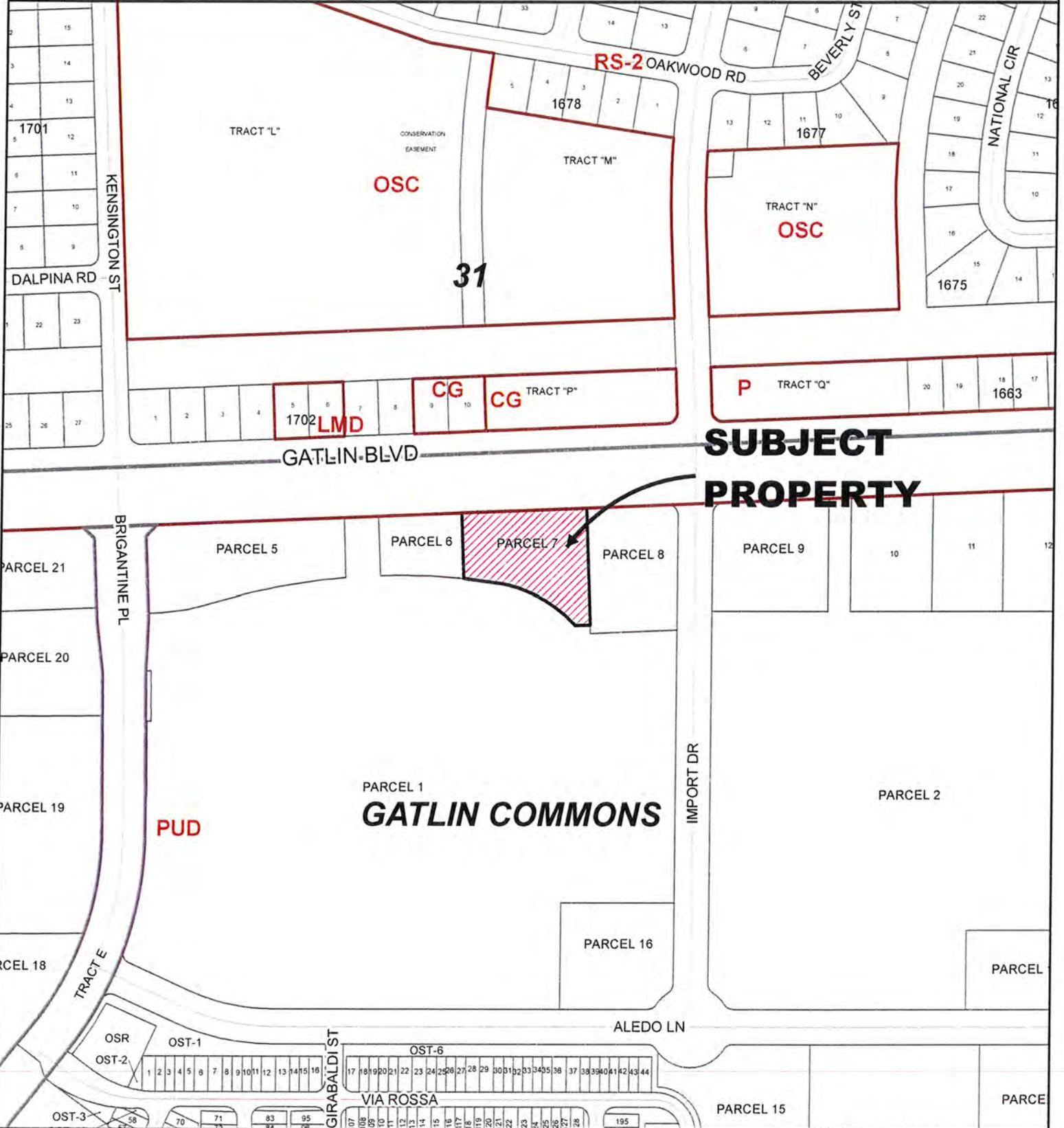


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

VARIANCE
LG GATLIN & IMPORT, LLC
GATLIN COMMONS, PARCEL 7

DATE: 11/8/2016
APPLICATION NUMBER: P16-188
USER: patricias
SCALE: 1 in = 300 ft

EXISTING ZONING



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

VARIANCE
LG GATLIN & IMPORT, LLC
GATLIN COMMONS, PARCEL 7

DATE: 11/8/2016
APPLICATION NUMBER: P16-188
USER: patricias
SCALE: 1 in = 300 ft

City of Port St. Lucie Citywide Design Standards



City of Port St. Lucie
Planning & Zoning Department
Developed in Conjunction with
Thomas Lucido & Associates, P.A.
and Florida Architects, Inc.

Adopted by Ordinance 97-051 (09/09/97)
Revised by Ordinance 99-012 (03/08/99)
Revised by Ordinance 04-123 (10/25/04)
Revised by Ordinance 09-038 (04/13/09)

IV. Design Standards

A. General Requirements

1. Building Orientation – The main entrance(s) of a building shall be oriented toward the primary street front or the side of the property. Orientation of the main entrance(s) toward the rear of the property is prohibited.
2. Building Configuration – Buildings shall be grouped or clustered on parcels having more than one building.
3. Building Length - Length of buildings will be reviewed on a case-by-case basis. If the building is found to be excessive in length, greater articulation shall be required.
4. Drive-Throughs - Drive-throughs shall not be located between a primary collector/arterial street and a building. If there is no other option, the drive-through shall be completely screened from view from the street by a continuous screen of vegetation having a height of six feet at time of planting.
- 5. Pedestrian and Vehicular Connections and Access - Pedestrian and vehicular connections shall be provided between adjacent parcels and buildings. Cross-access agreement(s) shall be obtained by adjacent property owners. ←

Interior sidewalks and/or pedestrian facilities shall inter-connect all buildings with existing or future public sidewalks. Stub-outs shall be provided for designated future public sidewalks.

A single point of vehicular access shall be provided along the primary street frontage, or the minimum driveway separation requirements shall apply. One additional access is permitted if the parcel abuts an adjacent side or rear street and if the requirements of the Zoning Code and/or Conversion Manual have been met.

6. Building/Parking Location - Parking is encouraged to be located along the rear and/or side of a building. Parking located along the front of building is permitted provided that at least one additional architectural element as articulated in Chapter V of this document is included in the design of the building.
7. Bike Racks – Each building shall provide a bike rack within 25' of the main entrance.
8. Mass Transit Accommodations – Non-residential buildings greater than 75,000 square feet and residential developments greater than 100 units shall provide at least one bus shelter per development. The bus shelter design shall compliment the architectural style of the buildings. Other developments shall be reviewed for a drop-off/pick-up location on a case-by-case basis.
9. Useable Open Space - Each site shall provide 0.5% of the total site as useable open space in the form of pedestrian courtyards, plazas, greens, or squares. Useable open space shall be defined by the use of pedestrian amenities such as benches, public art, fountains, water features, or

RECEIVED

OCT 28 2016

PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE, FL

VARIANCE APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Blvd.
Port St. Lucie, Florida 34984
(772)871-5212 FAX: (772)871-5124

FOR OFFICE USE ONLY

Planning Dept. P16-188
Fee (Nonrefundable) \$ 1,635.00
Receipt # 120187

Refer to "Fee Schedule" for application fee. Make check payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. **Attach two copies of proof of ownership (e.g., warranty deed, affidavit), a copy of recent survey and a statement addressing each of the attached criteria.**

PRIMARY CONTACT EMAIL ADDRESS: GBALABAN@BOHLERENG.COM

PROPERTY OWNER:

Name: LG GATLIN & IMPORT, LLC c/o STACEY BRIDENBACK
Address: 2311 CEDAR SPRINGS, SUITE 100, DALLAX, TX 75201
Telephone No.: 727-240-1104 Fax No.: _____

APPLICANT (IF OTHER THAN OWNER, ATTACH AUTHORIZATION TO ACT AS AGENT):

Name: LG GATLIN & IMPORT, LLC c/o STACEY BRIDENBACK
Address: 2311 CEDAR SPRINGS, SUITE 100, DALLAX, TX 75201
Telephone No.: 727-240-1104 Fax No.: _____

SUBJECT PROPERTY:

Legal Description: PARCEL 7, GATLIN COMMONS, RECORDED IN PLAT BOOK 50, PAGE 22
Parcel I.D. Number: 4314-504-0009-000-6
Address: 1820 SW GATLIN BOULEVARD, PORT ST. LUCIE, FL 34953
Current Zoning Classification: PUD (PLANNED UNIT DEVELOPMENT)

Description of requested variance and applicable conditions/circumstances justifying request (continue on separate sheet, if necessary): Provide documentation that the attached variance criteria have been met.

A variance from Section IV.A.5 from the City of Port St. Lucie Citywide Design Standards Manual is requested to allow the existing cross-access entrance curb cut to the east to be closed and removed and allow Parcel 7 to be developed without any cross-access entrance.

[Signature]
Signature of Applicant

JARED MOON
Hand Print Name

10/26/16
Date

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

VARIANCES

The Planning and Zoning Board and Zoning Administrator may authorize the variance from the provisions of this chapter as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to authorize any variance from the terms of this chapter, the Planning and Zoning Board or Zoning Administrator will consider the variance criteria in § 158.295 (C) 1-7 and consider your responses to the following when making a determination.

(1) Please explain special conditions and circumstances that exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

Due to Parcel 7's irregular shape and atypical 25' natural vegetative buffer, the small site allows limited site configurations. The existing location of the cross-access entrance curb cut creates circulation issues and results in the creation of dead end parking and the net loss of eight (8) parking spaces.

(2) Please explain if these conditions and circumstances result from actions by the applicant;

The parcel's irregular shape, 25' natural vegetative buffer, and the existing location of the cross-access curb cut did not result from any actions taken by the applicant. Efforts were made to reconfigure the site to keep the existing cross-access entrance and improve circulation but the parcel's restrictions did not allow for an improved alternative.

(3) Please explain how granting the variance requested will not confer on the applicant special privilege that is denied by this chapter to other lands, buildings, or structures, in the same zoning district;

There are many other commercial developments within the same shopping center and zoning district that have no cross-access entrance. Granting this variance will not confer on the applicant any special privilege denied to other developments within the same zoning district. Rather, maintaining this cross-access will restrict the applicant from being able to develop the site in a similar way to the neighboring properties within the same zoning district and with the same current and future land use categories.

(4) Please explain how a literal interpretation of the provisions of the chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the chapter and would work unnecessary and undue hardship on the applicant;

Section IV.5.A.5 is a common code requirement in many jurisdictions typically intended to limit curb cuts along public roadways. This parcel, however, does not have access from SW Gatlin Boulevard and is instead accessed only via a private drive aisle on the Wal-Mart parcel. The Taco Bell to the west of the site has no cross-access entrance, and neither do any of the commercial buildings to the east of Import Drive within Gatlin Commons. Maintaining the existing cross-access curb cut would deny the applicant the ability to develop the site similarly to neighboring properties.

(5) Please illustrate and explain if the variance requested is the minimum variance that will make possible the reasonable use of the land, building, or structure;

There are no further variances required in order to make possible the reasonable use of the aforementioned property for the applicant's proposed development. There are also no lesser variances that could be approved that would have the same positive impact and reasonably allow for the site to be developed in a manner similar to other sites within Gatlin Commons that are located within the same zoning district and have the same current and future land use categories.

(6) Please indicate how granting variance will be in harmony with the general intent and purpose of the chapter and that granting the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;

The intent of Section IV.5.A.5 within the Citywide Design Standards Manual is to limit curb cuts along public roadways in order to improve traffic safety and efficiency along the roads. Because there are no proposed connections to public roadways, logically the granting of this variance has no effect upon traffic safety or efficiency. This variance will, however, improve safety within the proposed development through improved circulation and reduced dead-end parking. The removal of a potentially dangerous intersection at the cross-access is also a benefit of this variance.

(7) Please indicate that there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both.

With the granting of this variance there will be full compliance with any additional conditions and safeguards which the Planning and Zoning Board or Zoning Administrator may prescribe.


Signature of Applicant

JARED MORD
Hand Print Name

10/26/16
Date

App
1/8/00
697.00
704308

(4)

COPY

This document prepared by:
Wal-Mart Stores East, LP
Sam M. Walton Development Complex
2001 S.E. 10th Street
Bentonville, AR 72716-3535
Attn: Brad Rogers, Associate General Counsel

Return recorded document to:
Squire Patton Boggs (US) LLP
One Tampa City Center
201 N. Franklin Street, Suite 2100
Tampa, FL 33602
Attn: Stacy H. Krumin

SPECIAL WARRANTY DEED

This SPECIAL WARRANTY DEED is made effective *December 22*, 2014, between **WAL-MART STORES EAST, LP**, a Delaware limited partnership, with an address of 702 S.W. 8th Street, Bentonville, AR 72716 ("Grantor"); and **LG GATLIN & IMPORT, LLC**, a Texas limited liability company, with an address of 2311 Cedar Springs, Ste 100, Dallas, TX 75201 ("Grantee").

WITNESSETH:

THAT GRANTOR, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, to it in hand paid by Grantee, the receipt whereof is hereby acknowledged, does hereby forever grant, bargain, sell, convey and confirm to Grantee, and its successors and assigns, a certain tract of land situated, lying, and being in the City of Port St. Lucie, St. Lucie County, Florida, as more particularly described to wit:

See Exhibit "A" attached hereto and made a part hereof ("Property");

TO HAVE AND TO HOLD said land unto Grantee, and its successors and assigns, forever, with all tenements, appurtenances and hereditaments thereunto belonging, subject to easements, conditions, restrictions and other matters of record. Notwithstanding the foregoing, Grantor hereby reserves unto Grantor, and its successors and assigns, all of Grantor's present and reversionary rights, titles and interests in and to all of the oil, gas, coal and other minerals in, on and under or that may be produced from the Property ("**Grantor's Retained Minerals**"). Grantor hereby agrees to waive and does hereby waive any and all rights to go on or about or use

COPY

the surface of the property for the exploration, production or development of oil, gas, coal or other minerals, and Grantor does hereby agree, in conducting exploration for, and production, processing, transportation, and marketing of oil, gas, coal or other minerals from the Property, not to use or occupy any portion of the surface of any part of the Property or place any fixtures, equipment, buildings or structures thereon; provided, however, this waiver shall not be construed as waiving, releasing, or relinquishing any of Grantor's right, title or interest in and to the oil, gas, coal and other minerals that may be produced from the Property or the right of Grantor to explore, develop or produce such oil, gas, coal and other minerals by means which do not include the use of the surface of the Property, including, without limitation, directional wells drilled under any part of the Property from a site off the Property or by pooling or unitization of the Property with other lands and (ii) shall not be construed as waiving, releasing, relinquishing any right, title or interest of a third party who obtained surface or subsurface rights prior to the acquisition of the Property by Grantor. The term "minerals" as used herein means minerals of every kind and character, including, without limitation, oil, gas, casinghead gas, liquid and gaseous hydrocarbons, sulphur, coal, lignite, quartz, brine, salt, peat, coal seam gas, coal bed methane, metals, ores, uranium, vanadium and other fissionable source materials and spatially associated materials, and geothermal energy (including entrained methane, hydrostatic pressure and thermal energy).

In addition, in respect of the Grantor's Retained Minerals all future leases or conveyances of all or any part of the Grantor's Retained Minerals shall be subject to and burdened by the surface waiver provisions set forth in the preceding paragraph of this Deed and automatically shall be construed to contain a contractual waiver by the lessee or grantee (as applicable) of the right to use any portion of the surface of the Property for the exploration, production or development of oil, gas or other minerals. Without limiting the foregoing but in furtherance thereof, and in further confirmation of the covenants and agreements set forth above, Grantor shall use reasonable commercial efforts to assure that any and all oil, gas, coal or mineral leases executed by Grantor or Grantor's successors or assigns shall require that the lessee under such oil, gas or mineral leases expressly agree to comply with such covenants and agreements notwithstanding that such lessee may have directly or indirectly then or thereafter acquire leases or rights in the oil, gas, coal or other minerals in, under or that may be produced from the Property from other persons who are not restricted against surface use, and to the maximum extent permitted under applicable law, such covenants and agreements shall be deemed to be incorporated in any and all such leases with any person having actual or constructive notice (pursuant to any recording statute or otherwise) of this agreement and the surface use restrictions set forth herein. No person having or claiming any rights by, through or under Grantor shall be permitted to circumvent directly or indirectly the surface use restrictions set forth herein by virtue of holding surface rights derived from any other mineral interest owners in the Property. The foregoing provisions shall be covenants running with the Property binding upon all or any part of the Grantor's Retained Minerals and inuring to the benefit of, and enforceable by, Grantee and any future owners of all or any part of the surface estate of the Property. If any one or more of the foregoing provisions, or the applicability of any such provision to a specific situation, shall be held invalid or unenforceable, such provision shall be modified to the minimum extent necessary to make it or its application valid and enforceable, and the validity and enforceability of all other of the foregoing provisions and all other applications of any such provision shall not be affected thereby.

This conveyance is expressly subject to the following conditions and restrictions:

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- (a) The Property shall only be used for purposes of the kind typically found in shopping centers, including, but not limited to, offices, restaurants, and retail shops; (b) The Property shall not be used for or in support of the following: (i) a discount store including, but not limited to, a variety, general, or "dollar" type store in excess of eight thousand (8,000) square feet in floor size, wholesale membership/warehouse club, grocery store/supermarket, pharmacy/drug store; (ii) gas station, quick lube/oil change facility, automobile tire sales; (iii) movie theater or bowling alley; and (iv) health spa/fitness center greater than three thousand (3,000) square feet; (the "Property Restrictions");
- (c) In addition, the Property shall not be used for or in support of the following: (i) adult book store, adult video store (an adult video store is a video store that sells or rents videos that are rated NC-17, X, XX, XXX, or of a rating assigned to works containing material more sexually explicit than XXX, by the film rating board of the Classification and Rating Administration), "adult" business activities, including without limitation any massage parlor (except the operation of a reputable health spa offering massages, such as Massage Envy), escort service, facility with nude (or partially nude, bathing suit-clad or lingerie-clad) models or dancers or any establishment selling or exhibiting sexually explicit materials; (ii) pawn shop, bar, night club, gaming activities (including but not limited to gambling, electronic gaming machines, slot machines and other devices similar to the aforementioned), billiard parlor, any place of recreation/amusement, or any business whose principal revenues are from the sale of alcoholic beverages for on or off premises consumption; or (iii) any business that cashes checks or makes short-term or "payday advance" type loans; or (iv) any business or facility used in growing, delivering, transferring, supplying, dispensing, dispersing, distributing or selling marijuana or any synthetic substance containing tetrahydrocannabinol, any psychoactive metabolite thereof, or any substance chemically similar to any of the foregoing, whether by prescription, medical recommendation or otherwise, and whether consisting of live plants, seeds, seedlings or processed or harvested portions of the marijuana plant (the "Noxious Use Restrictions"). Notwithstanding the foregoing, the Noxious Use Restrictions shall not exclude the regular business of any bank or financial institution insured by the F.D.I.C. or mortgage brokerage firm or other similar business providing long-term, mortgage type loans;
- (d) Only (1) one-story building may be erected on the Property, which building, so long as the applicable parking ratio required herein is met, shall not exceed ten thousand (10,000) square feet in floor size (with no more than three thousand (3,000) square feet being used for a restaurant, in the event Grantec erects a multi-tenant strip center), or twenty-two (22) feet in height, as measured from the finished floor elevation of the Property (provided that architectural features such as sign parapets and similar decorative facilities may be used as long as they do not exceed or twenty-nine (29) feet in height above finished floor elevation and shall not exceed in the aggregate twenty percent (20%) in area of any building façade;

- (e) Notwithstanding section (a) herein, in the event the Property is used for a building with multiple tenants, there shall be not less than four and five tenths (4.5) parking spaces for every one thousand (1,000) square feet of floor building area thereon, and thirteen (13) parking spaces for every one thousand (1,000) square feet of floor building area used for restaurants exceeding two thousand (2,000) square feet; in the event the Property is used for a free-standing restaurant, there shall be not less than fifteen (15) parking spaces on the Property for every one thousand (1,000) square feet of floor building area thereon; there shall be maintained a parking ratio of eight (8) parking spaces for every one thousand (1,000) square feet of floor building area used for a health spa/fitness center three thousand (3,000) square feet or less; for all other uses permitted hereunder there shall be not less than four and five tenths (4.5) parking spaces per one thousand (1,000) square feet of floor building area on the Property;
- (f) (i) only signs advertising business located on the Property may be erected thereon; (ii) signs located on the Property shall not contain images or words that are offensive to the ordinary reasonable person (whether cloaked in images, words, or phrases carrying double meanings); (iii) the Property and all improvements erected or constructed thereon shall be maintained in good condition and repair; (iv) the exterior of any building constructed on the Property shall not be constructed of metal; and (v) trash enclosure shall be constructed of masonry materials;
- (g) Grantor reserves the right to approve, such approval not to be unreasonably conditioned, withheld, or denied, prior to commencement of any construction by Grantee of any buildings or improvements on the Property, Grantee's: (i) site plans including setbacks from lot lines, location and dimensions of parking areas and spaces, driveways and service areas, placement of building(s) and other improvements including square footage of building(s), location of masonry trash enclosure, stop signs and bars at all curb cuts, and the location of existing Grantor signage (if any) on the Property; (ii) utility plans including all utility connections (including electric and telephone); (iii) grading plans including storm water management and detailed elevations; (iv) erosion and sediment control plans including rock construction entrances (to be in place prior to any construction), silt fence (to be in place prior to any construction) and other erosion controls required on the Property; (v) exterior elevations of the front, back, and both sides of the building(s), including height; (vi) exterior signage plans indicating the dimensions of exterior pylon or monument signage and the design of the sign panel(s) to be placed onto the sign structure (collectively the "Development Plan"). Said Development Plan is to be prepared by certified/licensed architects and/or engineers and shall conform to the restrictions set forth above. Grantee shall deliver full-sized plans of the said Development Plan to Grantor for its approval. Grantor shall have thirty (30) days after receipt of the Development Plan from Grantee to approve or disapprove the Development Plan in writing, provided, however, that Grantee shall have exclusive control over the means and methods of implementing such plans and specifications and by its right of approval Grantor shall not have nor assume any operational control over such

plans and specifications for purposes of compliance with any Storm Water Requirements. If the Development Plan is disapproved, Grantor shall give the reasons for such disapproval, and Grantee shall resubmit to Grantor a revised Development Plan incorporating Grantor's suggested revisions within thirty (30) days from the date of Grantee's receipt of Grantor's disapproval, and the same time schedule as mentioned above shall be repeated until the Development Plan is approved;

(h) Grantor reserves unto itself and its affiliates a perpetual sign easement over, under and on the Property for the installation, operation, maintenance, repair and replacement of a remote pylon or monument sign, if and only if such pylon or monument sign exists at Closing, together with a non-exclusive right of ingress and egress for activities associated with Grantor's operation of said easement area. Grantor further reserves unto itself, its successors and assigns, a perpetual easement over, under and on the Property for the installation, maintenance, repair and placement of any existing access areas, utilities or storm water drainage, if and only if such access areas or utilities serve adjacent property at Closing, together with a non-exclusive right of ingress and egress for activities associated with Grantor's use of said easement area; and

(i) All such covenants, conditions, restrictions, the Property Restrictions, and approval rights shall remain in effect for a period of fifty (50) years from the recording of this Deed. The Noxious Use Restrictions shall be perpetual unless applicable law prohibits a perpetual restriction, in which case the Noxious Use Restrictions shall remain in effect for the maximum amount of time allowed by law but in no event fewer than one hundred (100) years. The aforesaid covenants, conditions, restrictions and approval rights shall run with and bind the Property, and shall bind Grantee or an affiliated entity, or its successors or assigns, and shall inure to the benefit of and be enforceable by Grantor, or an affiliated entity, or its successors and assigns, by any appropriate proceedings at law or in equity to prevent violations of such covenants, conditions, restrictions and approval rights and/or to recover damages for such violations, including without limitation damages incurred by Grantor or an affiliated entity, concerning the business conducted on the land adjacent to the Property.

No representations or warranties of any kind have been made by Grantor or anyone on its behalf to the Grantee as to the condition of the Property described herein or any improvements thereon erected, if any, and it is understood and agreed by the parties that the Property is sold **"AS IS, WHERE IS - WITH ALL FAULTS AND WITHOUT ANY REPRESENTATION OR WARRANTY WHATSOEVER, EXPRESS OR IMPLIED."**

Grantor makes no warranty or representation regarding the condition of the Property, including, without limitation, environmental or ecological condition, it being understood that the Grantee is taking the Property **"AS IS, WHERE IS - WITH ALL FAULTS AND WITHOUT ANY REPRESENTATION OR WARRANTY WHATSOEVER, EXPRESS OR IMPLIED."**

COPY

Without limiting the foregoing, Grantee hereby covenants and agrees that Grantee accepts the property "AS IS" and "WHERE IS", and with all faults and defects, latent or otherwise, and that Grantor is making no representations or warranties, either expressed or implied, by operation of law or otherwise, with respect to the quality, physical conditions or value of the Property, the Property's habitability, suitability, merchantability or fitness for a particular purpose, the presence or absence of conditions on the Property that could give rise to a claim for personal injury, property or natural resource damages; the presence of hazardous or toxic substances, materials or wastes, substances, contaminants or pollutants on, under or about the Property, or the income or expenses from or of the Property.

AND SAID GRANTOR does hereby warrant the title to said Property, and will defend the same against the lawful claims of all persons claiming by, through and under Grantor, but none other, ~~subject to the easements, encumbrances, restrictions, and other matters of record,~~ the conditions and restrictions as stated herein, and subject to real property taxes for the year of 2015, and thereafter.

[Signature page follows]

COPY

COPY

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed in its name by its Director of Land Development of WSE Management, LLC, the General Partner of the Grantor, Wal-Mart Stores East, LP, and caused its seal attested by its Assistant Secretary to be hereto affixed the 18 day of December, 2014.

ATTEST:
By: Nick Goodner
Assistant Secretary

WAL-MART STORES EAST, LP,
a Delaware limited partnership
By: WSE Management, LLC,
its General Partner
By: Jaime Howell
Jaime Howell
Director of Land Development

[SEAL]

Signed, sealed and delivered
in the presence of:

Eina Goodman
Eina Goodman
Print Name

CHRISTOPHER DREWIS
CHRISTOPHER DREWIS

ACKNOWLEDGEMENT
STATE OF ARKANSAS
COUNTY OF BENTON

In the State of Arkansas, County of Benton, on this December 18, 2014, before me, the undersigned, a Notary Public in and for said County and State, personally appeared Jaime Howell to me personally known, who being by me duly sworn did say that she is Director of Land Development of WSE Management, LLC, the General Partner of the Grantor in the foregoing special warranty deed, and that the seal thereto affixed is the seal of said Wal-Mart Stores East, LP, and that said special warranty deed was signed, sealed and delivered by her on behalf of said limited partnership by authority of its General Partner and said Jaime Howell acknowledged said special warranty deed to be the free act and deed of said limited liability company, acting in its capacity as General Partner of said limited partnership.

WITNESS MY HAND and notarial seal subscribed and affixed in said County and State, the day and year in this certificate above written.

By: Dawn Michelle Griggs
Notary Public

DAWN MICHELLE GRIGGS
NOTARY PUBLIC
Benton County, Arkansas
My Commission Expires 3/15/2021
Commission Number 12383643

Exhibit "A"

[Legal Description]

Parcel 7, GATLIN COMMONS, according to map or plat thereof recorded in Plat Book 50,
Pages 21 through 27, of the Public Records of St. Lucie County, Florida.

COPY

COPY

COPY

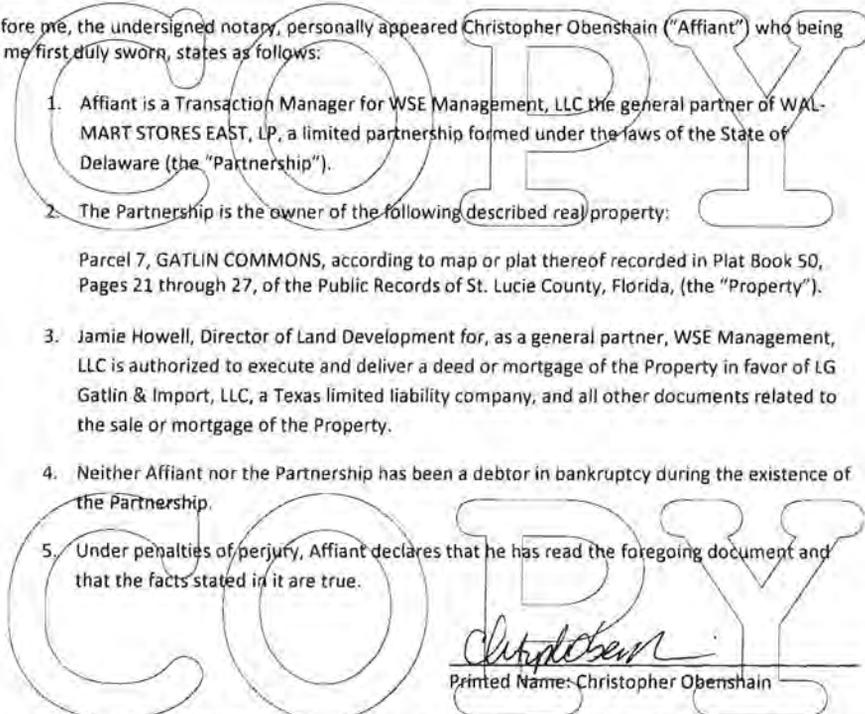
Limited Partnership Affidavit

State of Arkansas
County of Benton

Before me, the undersigned notary, personally appeared Christopher Obenshain ("Affiant" who being by me first duly sworn, states as follows:

1. Affiant is a Transaction Manager for WSE Management, LLC the general partner of WAL-MART STORES EAST, LP, a limited partnership formed under the laws of the State of Delaware (the "Partnership").
2. The Partnership is the owner of the following described real property:

Parcel 7, GATLIN COMMONS, according to map or plat thereof recorded in Plat Book 50, Pages 21 through 27, of the Public Records of St. Lucie County, Florida, (the "Property").
3. Jamie Howell, Director of Land Development for, as a general partner, WSE Management, LLC is authorized to execute and deliver a deed or mortgage of the Property in favor of LG Gatlin & Import, LLC, a Texas limited liability company, and all other documents related to the sale or mortgage of the Property.
4. Neither Affiant nor the Partnership has been a debtor in bankruptcy during the existence of the Partnership.
5. Under penalties of perjury, Affiant declares that he has read the foregoing document and that the facts stated in it are true.



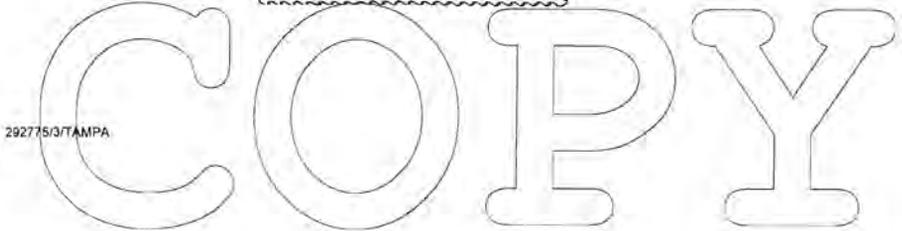
Christopher Obenshain
Printed Name: Christopher Obenshain

Sworn to and subscribed before me, this 19 day of December, 2014, by Christopher Obenshain, who is personally known or () has produced _____ as identification.

(Notary Seal)

Dawn Michelle Griggs
Notary Public

DAWN MICHELLE GRIGGS
NOTARY PUBLIC
Benton County, Arkansas
My Commission Expires 8/15/2021
Commission Number 12383643



WRITTEN CONSENT OF THE MANAGER
OF LG CAPITAL, LLC (the "Company")

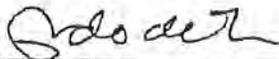
The undersigned, being the manager of LG CAPITAL, LLC, a Texas limited liability company (the "Company"), hereby adopts the following resolutions by signing this Written Consent.

RESOLVED, that the persons listed on the attached Annex are designated as authorized persons and/or named as officers, directly on behalf of the Company, to take any and all actions, and to execute any and all documents and agreements necessary or advisable in order for the Company to conduct its business in the ordinary course of its operations, such documents to be in such form as such authorized person may approve on the Company's behalf, such approval to be conclusively evidenced by the due execution thereof, and such authorized persons being granted the power and authority to act in the premises as fully and to all intents and purposes as the Company might or could do if a person having the authority to bind the Company was personally present. The persons listed shall only have the authority to take such actions as may be limited by the description adjacent their name on the attached Annex.

RESOLVED, that any and all actions taken by the persons listed on the attached Annex, for and on behalf of the Company, on or prior to the date of this Written Consent be, and the same hereby are, in all respects ratified, confirmed, approved and adopted as acts of the Company.

The undersigned, by signing this Written Consent, waives notice of the time, place and purpose of any special meeting to conduct the business described herein and consents to the transaction of such business and the same shall have the same force and effect as a vote by the undersigned at a properly called and convened special meeting of the Company.

APPROVED as of this 20 day of July, 2015.



Fernando de Leon,
Manager

LG CAPITAL, LLC

INCUMBENCY CERTIFICATE

I hereby certify solely in my capacity as a General Counsel of the Company and not in my individual capacity as follows:

1. I am a duly appointed General Counsel of LG Capital, LLC (the "Company"), a Texas limited liability company.
2. Attached hereto as Annex A is a true and complete copy of a Written Consent of the Manager of the Company appointing additional individuals with specified authority (including Jared Moon as Authorized Signatory) of the Company.



Robert Pivnick
General Counsel

Dated: September 4, 2015

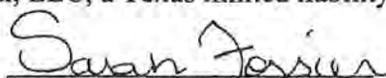
STATE OF TEXAS §
 §
COUNTY OF DALLAS §

This instrument was acknowledged before me on September 4, 2015, by Robert Pivnick, General Counsel of and on behalf LG Capital, LLC, a Texas limited liability company.



My Commission Expires.

August 18, 2019


Notary Public - State of Texas

Sarah Fossier
Printed Name of Notary Public

ANNEX

<u>Individual</u>	<u>Title/Officer</u>	<u>Limitations to Authority</u>
Fernando de Leon	Chief Executive Officer	No limitations; full authority.
Kyle Miller	Chief Operations Officer	Authority for all operational aspects; limited to aspects of the Company's investment and asset management of retail properties only.
Will Tolliver	Managing Director	Limited to aspects of the Company's investment and asset management and disposition of retail properties only.
Jesus Araiza	Managing Director	Limited to aspects of the Company's investment, asset management and disposition of retail properties only.
David Cocanougher	Managing Director	Limited to aspects of the Company's investment, asset management and disposition of MF properties only.
Rob Pivnick	General Counsel	Authority for all legal related aspects; closing functions; capital markets; dispositions; operational aspects limited to policies, procurement and third party relations.
Scott Parr	Director of Finance & Accounting	Authority for all finance and accounting aspects, including by way of example, reporting, tax returns, banking, cash management and reconciliation, financial statements & reporting, financial management and forecasting, budgeting, audits.
Matthew Knowles	Director of Asset Management	Asset management of retail and office assets only.
Chance Taylor		Asset management of multifamily assets only.
Jake Walker		Limited to aspects of the Company's acquisition, development and asset management related to real estate deals sourced by such individual only.
Todd Harrelson		Limited to aspects of the Company's acquisition, development and asset management related to real estate deals sourced by such individual only.
Jared Moon		Limited to aspects of the Company's acquisition, development and asset management related to real estate deals sourced by such individual only.

All individuals detailed above have the authority and duties that are normally associated with the title, if any, adjacent to their name and may conduct business operations of the Company as aforesaid in the name of such title or as "Authorized Signatory."



LETTER OF AUTHORIZATION

Whom It May Concern:

This letter authorizes Bohler Engineering to act on behalf of LG Gatlin & Import, LLC, in regards to permits and applications for site plan approval through the City of Port St. Lucie, as well as but not limited to all regulatory agencies, departments and governmental agencies of FDEP, FDOT and SFWMD, necessary for the construction and development of a proposed commercial development, located on Parcel 7 of Gatlin Commons, Port St. Lucie, FL.

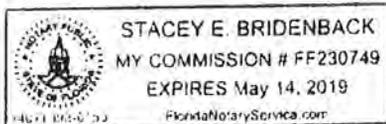
Signature: _____

**Jared Moon
Authorized Signatory**

Name (printed)

STATE OF FLORIDA
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me this 26th day of OCTOBER,
2016 by JARED MOON and IS KNOWN as
AUTHORIZED SIGNATORY as identification and (did/did not) take oath.



Notary Public

STACEY BRIDENBACK
Print Name
Commission No. FF230749
Expiration Date: 5/14/19

CONCEPTUAL SITE DATA:

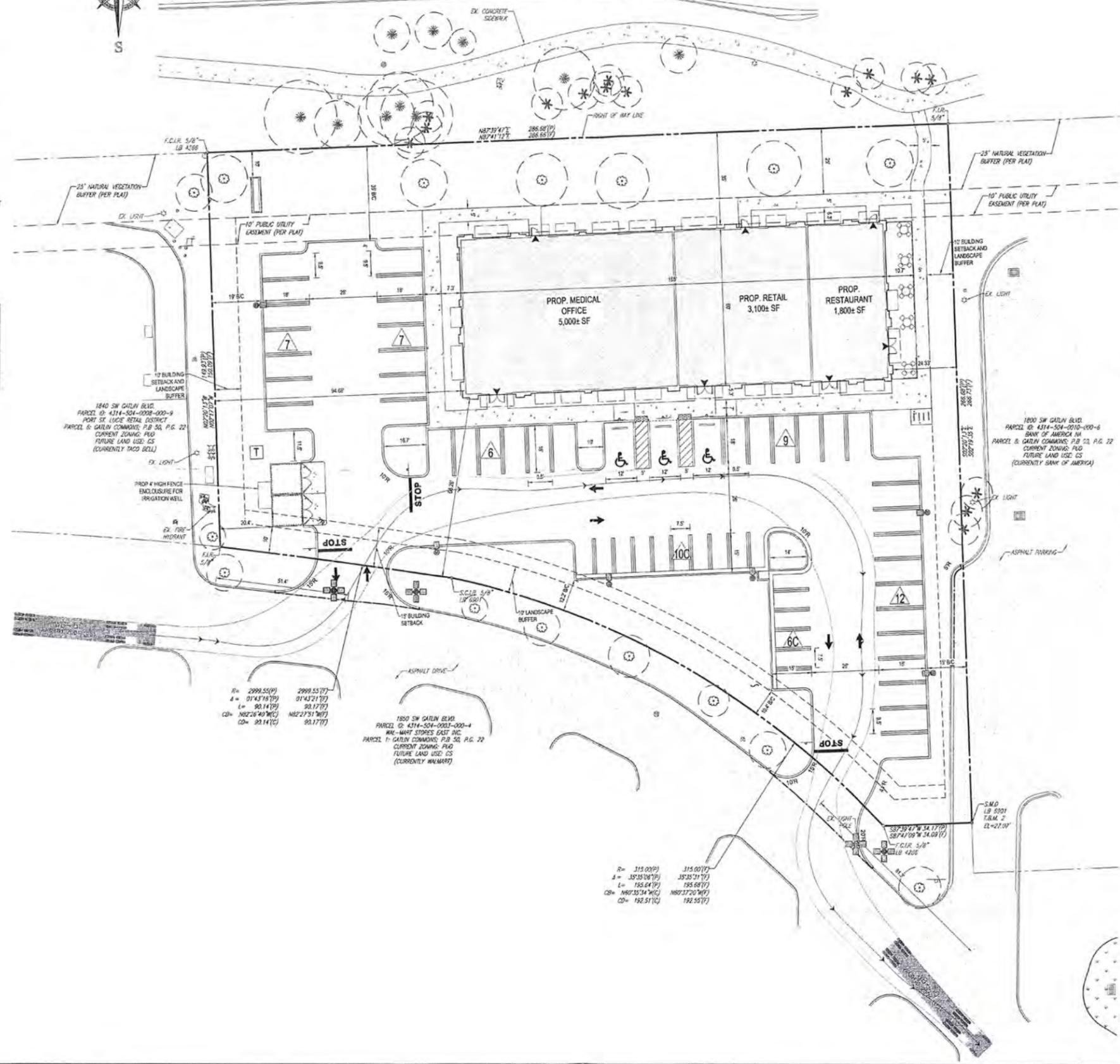
PARCEL ID:	4314-504-000-006
PROPOSED USE:	RETAIL, MEDICAL OFFICE, & RESTAURANT
GROSS SITE AREA:	56,519 SF (1.30 AC) 100%
CURRENT ZONING:	PUD-PSL (PLANNED UNIT DEVELOPMENT)
FUTURE LAND USE DESIGNATION:	CS (COMMERCIAL SERVICE)
PROPOSED BUILDING SIZE & USES:	5,900 SF (100.0%) MEDICAL OFFICE (50.5%) RETAIL (31.3%) RESTAURANT (18.1%)
REQUIRED PARKING SPACES:	MEDICAL OFFICE: 1 SPACE/ 1,000 SF (5,000 SF) * (7 / 1,000 SF) = 35 SPACES RETAIL: 1 SPACE / 250 SF (2,100 SF / 250 SF) = 12.4 SPACES RESTAURANT: 1 SPACE / 250 SF (1,800 SF / 250 SF) = 7.2 SPACES (500 SF OUTDOOR/250 SF) = 2.4 SPACES
TOTAL:	57 SPACES REQUIRED*
PROVIDED PARKING SPACES:	57 SPACES PROPOSED HANDICAP PARKING STALL (12' X 15') 3 SPACES STANDARD PARKING STALL (8' 6" X 18') 41 SPACES COMPACT PARKING STALL (7' 6" X 15') 18 SPACES (MEETS 30% MAXIMUM = 17)
BUILDING SETBACK REQUIREMENTS:	FRONT (NORTH - GATLIN BLVD.) 35 FEET SIDE (WEST) 10 FEET SIDE (EAST) 10 FEET REAR (SOUTH) 15 FEET
LANDSCAPE BUFFER REQUIREMENTS:	FRONT (NORTH - GATLIN BLVD.) 25 FEET SIDE (WEST) 10 FEET SIDE (EAST) 10 FEET REAR (SOUTH) 10 FEET

*PER THE GATLIN COMMONS RAC - AMENDMENT NO.5, EXHIBIT 6 - PROPOSED DEVELOPMENT STANDARDS.

VARIANCE INFORMATION	
CODE SECTION REQUIRING VARIANCE:	SECTION IV.A.5 OF THE CITY OF PORT ST. LUCIE CITYWIDE DESIGN STANDARDS MANUAL
CODE REQUIREMENT:	CROSS-ACCESS PROVIDED BETWEEN ADJACENT PARCELS AND BUILDINGS
CODE DEVIATION:	NO CROSS-ACCESS PROVIDED



**S.W GATLIN BOULEVARD
(135' RIGHT-OF-WAY)**



LEGEND:

	PROPERTY BOUNDARY LINES
	ADJACENT BOUNDARY LINES
	EXISTING EASEMENT LINES
	EXISTING DITCH TOP OF BANK LINES
	PROPOSED LANDSCAPE BUFFER
	PROPOSED BUILDING SETBACK
	PROPOSED BUILDING FOOTPRINT
	PROPOSED TYPE 'D' CURB
	PROPOSED WHEELSTOP
	PROPOSED SIGN
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED BUILDING
	PROPOSED PARKING SPACE COUNT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMED PAD

REVISIONS

REV	DATE	COMMENT	BY

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.call811.com

NOT APPROVED FOR CONSTRUCTION

PROJECT No: FLT150010
DRAWN BY: CM
CHECKED BY: CB
DATE: 10/28/16
SCALE: 1"=20'
CAD ID: VPO

PROJECT: GATLIN COMMONS RETAIL FOR LG GATLIN & IMPORT, LLC

LOCATION OF SITE
1820 SW GATLIN BLVD
SAINT LUCIE COUNTY,
PORT SAINT LUCIE, FL 34953

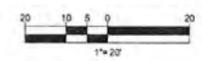
BOHLER ENGINEERING

2255 GLADES ROAD, SUITE 305E
BOCA RATON, FLORIDA 33431
Phone: (561) 571-0280
Fax: (561) 571-0281
FLORIDA BUSINESS CREDIT OF AUTHORITY NO. 3076
LANDSCAPE ARCHITECT 04583581 LIC. NO. LC00000561

SHEET TITLE:
CONCEPTUAL SITE PLAN W/ VARIANCE

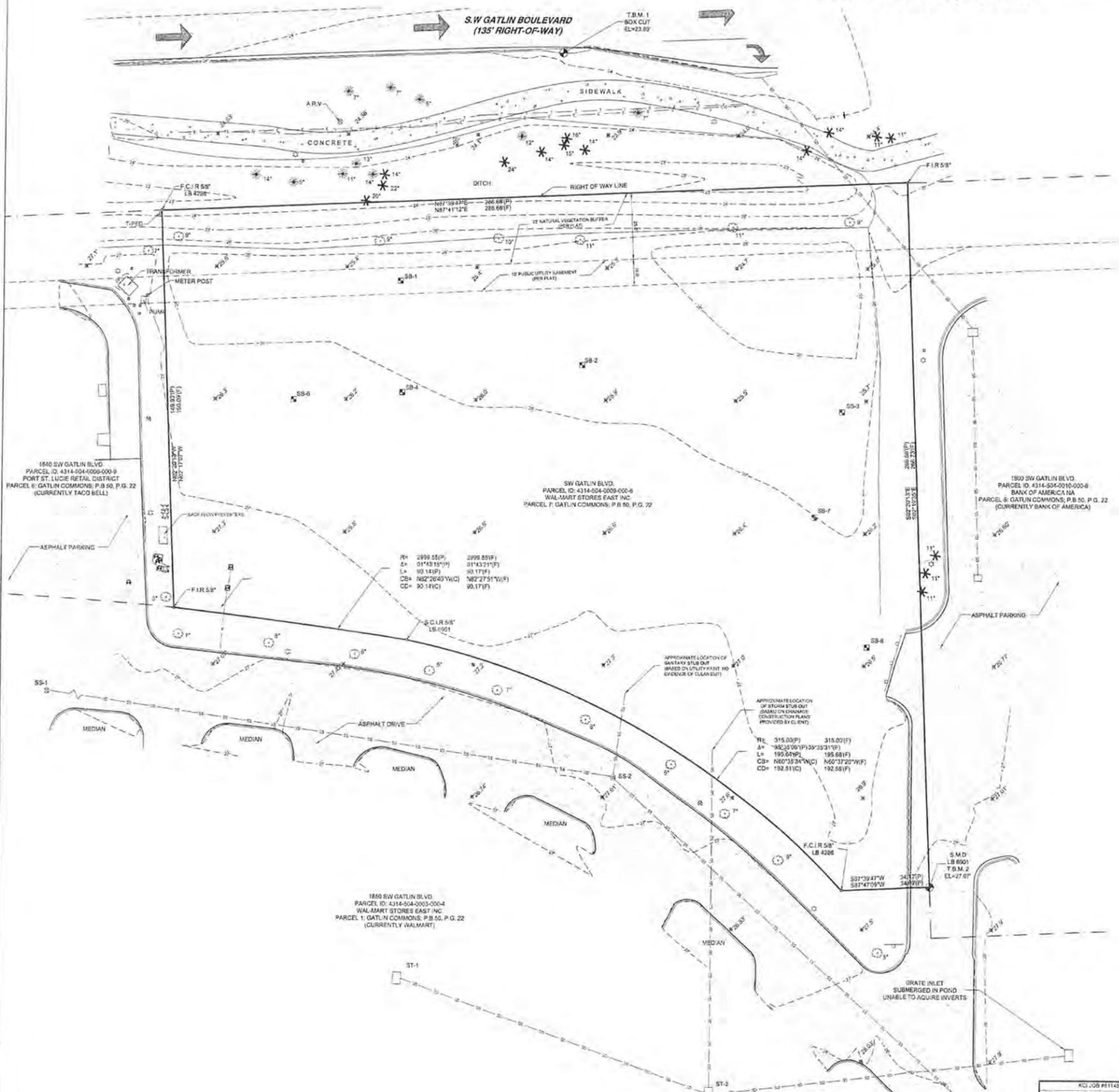
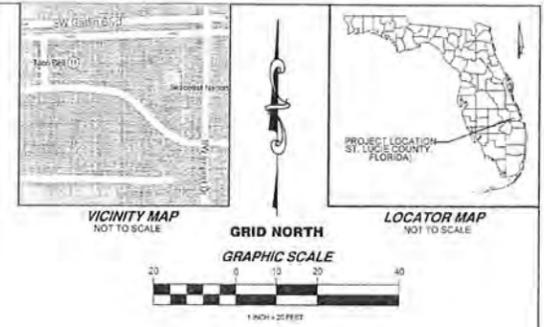
SHEET NUMBER:
V-1.0

RECEIVED
OCT 28 2016
PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE, FL



10/28/16 LG GATLIN & IMPORT FOR LG GATLIN & IMPORT AT LUCIE COMMONS RETAIL ACCESS VARIANCE CONCEPTUAL PLAN. 1: REVISIONS AND PRINTED BY: CHEMUN, 10/27/16 11:52 AM LAST SAVED BY: CHEMUN

SECTION 14, TOWNSHIP 37 SOUTH, RANGE 39 EAST,
ST. LUCIE COUNTY, FLORIDA



LEGAL DESCRIPTION:

PARCELS 1, 5, 6, AND 7, GATLIN COMMONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 50, PAGE 21 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SAID PARCEL CONTAINING 586,972 SQUARE FEET (1.30 ACRES) MORE OR LESS

SURVEYOR'S NOTES:

- THIS IS A BOUNDARY AND ALTA/ACSM LAND TITLE SURVEY ONLY, MADE ON THE GROUND UNDER THE SUPERVISION OF A FLORIDA LICENSED SURVEYOR AND MAPPER, AND MEETS THE HORIZONTAL AND VERTICAL ACCURACY FOR THIS PROPERTY'S EXPECTED USE.
- BEARINGS ARE BASED ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GATLIN BOULEVARD, AS BEING N37°41'12"E, GRID.
- THE PROPERTY SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "X", NO B.F.E. AS SHOWN ON THE FLOOD INSURANCE RATE MAP, 121111100275J, MAP REVISED 07/16/2014 NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE MONUMENT DESIGNATED "95 85 A18" PER THE NATIONAL GEODETIC SURVEY WEBSITE (HTTP://WWW.LABS.CSRI.GOV/NORTH AMERICAN VERTICAL DATUM OF 1988). ON SITE ELEVATIONS ARE AS FOLLOWS:
TEMPORARY BENCHMARK NO. 1, ELEVATION = 23.69 FEET (BOX CUT IN CURB INLET)
TEMPORARY BENCHMARK NO. 2, ELEVATION = 27.07 FEET (S.M.D. LB 6901)
- NO UNDERGROUND UTILITIES, UNDERGROUND ENCROACHMENTS OR BUILDING FOUNDATIONS WERE OBSERVED AS A PART OF THIS SURVEY, UNLESS OTHERWISE SHOWN.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE FIELD SURVEY WAS COMPLETED ON 10-16-2014.
- ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP, BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- SETBACKS AND ZONING REQUIREMENTS ARE PER CITY OF PORT ST. LUCIE ZONING DEPARTMENT.
- ZONE = PUD (PLANNED UNIT DEVELOPMENT)
FRONT YARD MINIMUM SETBACK = 25 FEET
SIDE YARD MINIMUM = 10 FEET
REAR YARD MINIMUM = 15 FEET
MAXIMUM BUILDING HEIGHTS = 50 FEET
- THIS SURVEYOR HAS REVIEWED THE SURVEYED PROPERTY AND HAS FOUND NO ENCROACHMENTS OVER SETBACKS, EASEMENTS AND BOUNDARY LINES.
- THIS SURVEYOR HAS REVIEWED THE SURVEYED PROPERTY AND HAS FOUND NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

LEGEND

- ⊕ = HYDRANT
- ⊙ = SIGN
- ⊙ = LIGHT POLE
- ⊕ = WATER VALVE
- ⊕ = IRRIGATION CONTROL VALVE
- ⊕ = ELECTRIC HAND HOLE
- ⊕ = TRAFFIC SIGNAL VAULT
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = SANITARY MANHOLE
- ⊕ = FIBER OPTIC MARKER
- ⊕ = BOLLARD
- ⊕ = AIR RELEASE VALVE
- ⊕ = SPOT ELEVATION
- ⊕ = OAK TREE (SIZE NOTED)
- ⊕ = PALM TREE (SIZE NOTED)
- ⊕ = PINE TREE (SIZE NOTED)
- ⊕ = PLAT
- ⊕ = MEASURED
- ⊕ = CALCULATED
- ⊕ = RADIUS
- ⊕ = ARC LENGTH
- ⊕ = DELTA ANGLE
- ⊕ = CHORD BEARING
- ⊕ = CHORD DISTANCE
- ⊕ = FOUND IRON ROD
- ⊕ = FOUND CAPPED IRON ROD
- ⊕ = SET MAG NAIL AND DISC
- ⊕ = SET CAPPED IRON ROD
- ⊕ = LICENSED BUSINESS
- ⊕ = POLY VINYL CHLORIDE
- ⊕ = STORM STRUCTURE
- ⊕ = SANITARY STRUCTURE
- ⊕ = SOIL BORING
- ⊕ = TEMPORARY BENCHMARK

STORM STRUCTURE TABLE

STR1 GRATE INLET TOP: 25.43 EAST: 42' RCP = 18.63
STR2 GRATE INLET TOP: 25.82 NORTH: 24' RCP = 19.44 WEST: 42' RCP = 19.44 EAST: 38' X 6' RCP = 19.43
NOTE: ALL STORM STRUCTURES WERE FULL OF WATER. PIPE SIZES AND INVERTS ARE APPROXIMATE.

SANITARY SEWER STRUCTURE TABLE

SS#1 SANITARY SEWER MANHOLE TOP: 27.07 WEST: 8' PVC = 18.97 NORTH: 8' PVC = 19.43 EAST: 8' PVC = 19.42
SS#2 SANITARY SEWER MANHOLE TOP: 27.32 WEST: 8' PVC = 18.19 NORTH: 8' PVC (STUB OUT) = 17.04 SOUTHEAST: 8' PVC = 16.09
SS#3 SANITARY SEWER MANHOLE TOP: 25.67 NORTHWEST: 8' PVC = 14.81 SOUTHEAST: 8' PVC = 14.71

RECEIVED
OCT 28 2015
PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE, FL

NO. JOB #01142814		
REV. 3	REVISION ISSUED	DATE
1		10/16/14

THIS SURVEY WAS MADE UNDER MY DIRECTION, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JAMES M. GELLEINTH
FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. 5908



KCI TECHNOLOGIES
ENGINEERS, SURVEYORS AND PLANNERS
LICENSED BUSINESS # 6901
10401 HIGHLAND MANOR DRIVE, SUITE 120
TAMPA, FL 33610
PHONE (813) 740-2300 * FAX (813) 740-0159

ALTA/ BOUNDARY/ TOPOGRAPHIC SURVEY FOR GATLIN COMMONS LEON CAPITAL GROUP

DATE: OCT. 16, 2014 SCALE: 1" = 20' SHEET: 1 OF 1



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING & ZONING BOARD - MEETING OF DECEMBER 6, 2016
FROM: JOHN FINIZIO, PLANNER
RE: CITY OF PSL/CROSSTOWN PKWY – JANETTE AVENUE
SMALL SCALE COMPREHENSIVE PLAN AMENDMENT
PROJECT NO. P16-010
DATE: NOVEMBER 22, 2016

PROPOSED PROJECT: To amend the future land use for 0.81 acres from RL (Low Density Residential) to OSR (Open Space Recreational) to allow for the development of a parking lot. The parking lot can be used by residents who want to access the recreation opportunities on the Crosstown Parkway linear park.

APPLICANT/OWNER: City of Port St. Lucie.

LOCATION: The southwest corner of Crosstown Parkway and Cameo Boulevard.

LEGAL DESCRIPTION: Crosstown Parkway, Parcel No. 2.

SIZE: Approximately 0.81 acres.

EXISTING ZONING: RS-2 (Single Family Residential).

EXISTING USE: Vacant.

SURROUNDING USES:

Table with 4 columns: Direction, Future Land Use, Zoning, Existing Use. Rows include North (U, I, Crosstown Parkway), South (OSR & RL, OSR & RS-2, Vacant land & Existing Single Family homes), East (RL, RS-2, Vacant lots), and West (RL, RS-2, Vacant lots).

EXISTING LAND USE DESIGNATION: RL (Low Density Residential).

REQUESTED LAND USE DESIGNATION: OSR (Open Space Recreational).

IMPACTS AND FINDINGS:

Sewer/Water Service: Port St. Lucie Utility Systems Department will provide water and sewer service to this development. A comparison of the potable water and wastewater demand for the existing land use is as follows:

Water Calculations for proposed future land use (RL)					
Land Use	Dwelling Units (du)	Potable Water Rate (gpd/1000 sf)	Projected Water (gpd)	Wastewater Rate (gpd/1,000 sf)	Projected Wastewater (gpd)
RL	3	115	804	97.75	683

This project is to ultimately construct a parking facility for residents wanting to access the recreational opportunities along Crosstown Parkway linear park. At this time, there is no utility usage planned for this facility. A site plan for this parking area has not been submitted yet. However, the OSR Land Use does allow for a maximum 30% building coverage for parks and other such uses. So, if future development does include utility usage, demand will be as follows:

Water Calculations for proposed future land use (OSR)					
Land Use	Area (sf)	Potable Water Rate (gpd/1000 sf)	Projected Water (gpd)	Wastewater Rate (gpd/1,000 sf)	Projected Wastewater (gpd)
OSR	10,585	120*	1,270	102	1,080

*Water rates for parks are not identified in the City's Concurrency Management System, so this calculation utilizes the water rates for office/school which is greatly overstating the potential water usage if this site is developed.

With the introduction of a park component, there could be a slight increase in the water demand for this land use amendment. At maximum capacity, the proposed land use will have a water demand of 1,270 gpd, with a total wastewater generation of 1,080 gpd, which is an increase over the existing residential land use.

Land Use	Water (gpd)	Wastewater (gpd)
Existing	804	683
Proposed	1,270	1,080
Difference	466	397

Please note, the initial project will not have any utilities in place. This projected usage will only be relevant if the site is redeveloped to its maximum allowable density, which at this stage is unlikely to occur. If developed, this proposed comprehensive plan

amendment will result in an increase in water and wastewater demand. Both potable water distribution and sanitary sewer collection systems are available to this property.

Transportation: The approximate number of vehicle trip ends for this property will be approximately 11 a.m. peak hour trips, and 3 p.m. peak hour trips (ITE, Land Use Code 210 (Single Family Detached Housing)). The approximate number of vehicle trip ends projected to be generated from the proposed future land use change is approximately 2 (ITE, Land Use Code 411 (City Park)). Trip projections are calculated by using the Institute of Transportation Engineers (ITE) "Trip Generation Manual, 8th Edition."

Traffic Analysis for proposed land use (RL)						
Land Use Code	Land Use	Intensity	Trip Generation Calculation	A.M. Peak Hour	Trip Generation Calculation	P.M. Peak Hour
210	Single Family	3 du	$T=0.7(X) +9.74$	12	$\ln(T)=0.90\ln(X) + 0.51$	4
Total				12		4

Traffic Analysis for proposed land use (OSR)				
Land Use Code	Land Use	Intensity	Trip Generation Calculation	Weekday Trips
411	City Park	0.81	Average Rate = 1.59	2
Total				2

*The ITE Trip Generation Manual does not provide a fitted equation for this use. Number of trips for city parks is dependent on the overall acreage. For weekday trips the average rate is 1.59, however the trip generation rate on Sundays is 16. No a.m. or p.m. peak hour calculations are provided. It is anticipated that the average number of trips for this facility will be between two and 16 daily.

As expected, changing the land use to OSR will see a decrease in peak hour trip ends. This represents a net decrease for both a.m. peak hour and p.m. peak hour trips onto the surrounding streets, in particular Cameo Boulevard and Crosstown Parkway. Trip projections are calculated by using the Institute of Transportation Engineers (ITE) "Trip Generation Manual, 8th Edition".

Parks/Open Space: Changing the future land use to OSR will prohibit residential development on this parcel, therefore, parkland would not be required for this project. This project is only providing a parking facility for residents utilizing the Crosstown Parkway for recreational purposes, but the site will have a perimeter landscape strip that will help buffer it from the surrounding residential uses.

Storm Water: The project will be required to provide paving and drainage plans that are in compliance with adopted level of service standards.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available to accommodate this project.

Environmental: This site was part of the Crosstown Parkway expansion and plat, and as such the site has already been cleared, and does not contain any uplands or have any unique environmental features. As part of the site plan process, the site will be required to provide all required landscaping as outlined in the City's Landscape Code (Chapter 154).

Flood Zone: This parcel is located in Panel Number 12111C0275F, and is located within FEMA's Flood Zone X. Zone X is determined to be located outside the 100 and 500 year floodplains.

Police: The department's response time is approximately 6-10 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Fire/EMS: The nearest station is No. 10 which is located at 777 SW Dalton Circle. The St. Lucie County Fire District does not list response times for each individual station because of the necessity of responding with another station. This proposed Comprehensive Plan Amendment does not result in any change in the Fire District's previous service commitments to this project and are not expected to be adversely impacted.

Compatibility Analysis: Changing the land use from RL (Low Density Residential) to OSR (Open Space Recreational) is not expected to have any adverse impact on the surrounding area. As noted, this change is only to permit a parking lot that will be used to access the recreational opportunities that currently exist on the Crosstown Parkway. This parking lot will only be open from dusk to dawn, so no external lighting will be included as part of this project. And even though the site is surrounded by residential zoning on three sides, the site will be landscaped to help buffer this site from the surrounding residential uses.

Justification/Mitigation: There are several Goals, Policies, and Objectives in the City of Port St. Lucie's Comprehensive Plan which help justify this development. Objective 1.1.4, policy 1.1.4.6 (a), and objective 1.1.7 of the Comprehensive Plan provide justification for this Comprehensive Plan Amendment. Objective 1.1.4 which directs future growth, development and redevelopment should be directed to appropriate areas as depicted on the Future Land Use Map. Policy 1.1.4.6 (a) ensures that the OSR Land Use is designated for existing or future parks. Objective 1.1.7.1 permits the City to initiate and utilize planning and development controls to discourage the proliferation of urban sprawl, encourage innovative development, greater diversity of land uses, and to improve community appearance.

STAFF RECOMMENDATION:

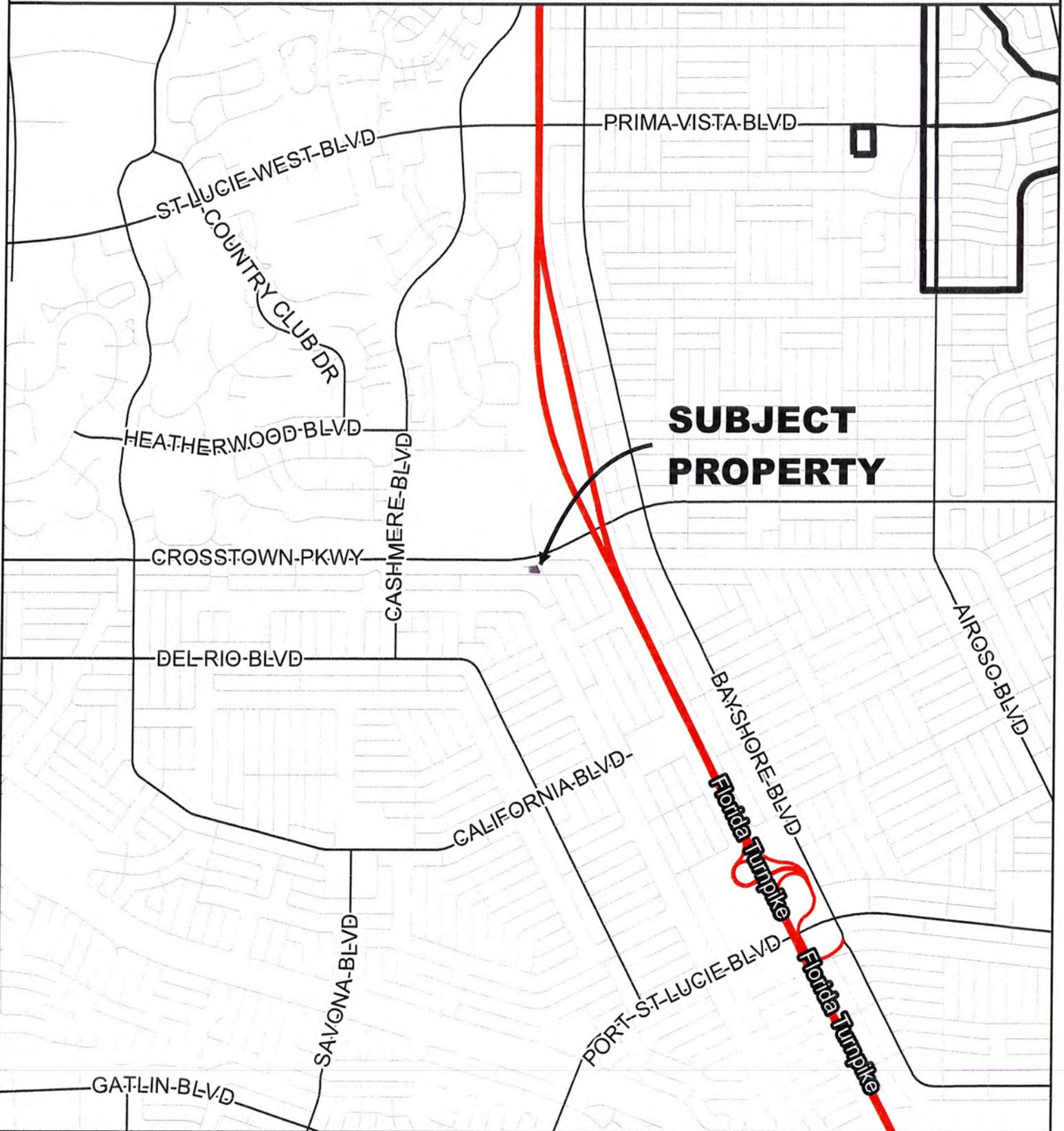
The Planning and Zoning Department staff finds the petition to be consistent with the intent and direction of the City's Comprehensive Plan and recommends approval of the proposed amendment based on the analysis and findings as noted in the staff report.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION

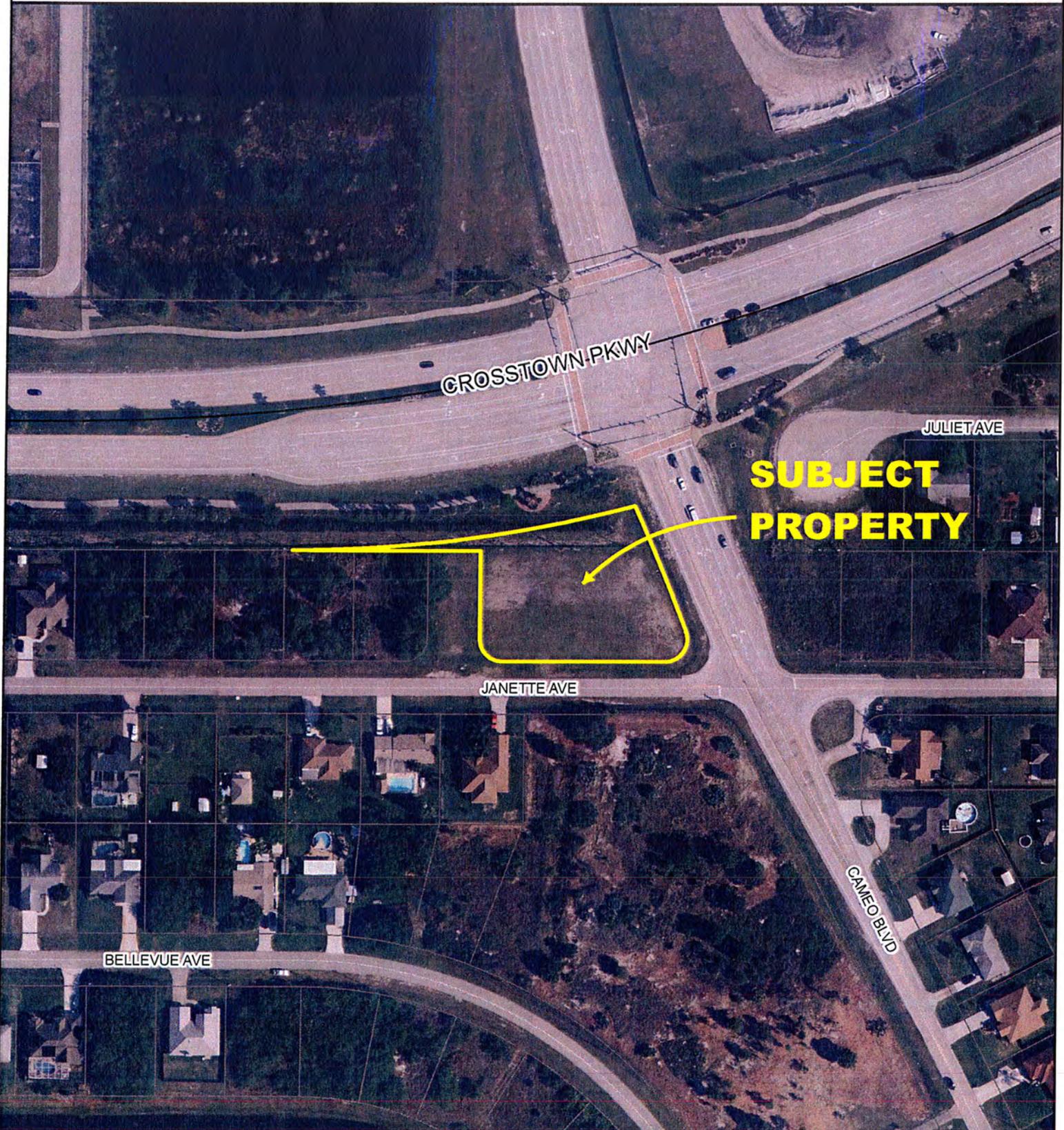


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN AMENDMENT
CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKING, PARCEL 2

DATE: 2/24/2016
APPLICATION NUMBER: P16-010
USER: patricias
SCALE: 1 in = 0.5 miles

AERIAL



**SUBJECT
PROPERTY**

	CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.	COMPREHENSIVE PLAN AMENDMENT	DATE: 2/24/2016
		CROSSTOWN PARKWAY PARKING	APPLICATION NUMBER: P16-010
		CROSSTOWN PARKING, PARCEL 2	USER: patricias
		AERIAL DATE 2014	SCALE: 1 in = 150 ft

FUTURE LAND USE



ST. LUCIE WEST

U

**Florida Turnpike
HWY**

PARCEL 4

WMT-6

SUBJECT

PROPERTY

GROSTOWN PKWY

JULIET AVE

PARCEL 2

1066

1067

JANETTE AVE

OSR

PARCEL 3

RL

BELLEVUE AVE

9

1074

JACQUELINE AVE

1069

1070

CAROLINA ST

FINCH LN

1082

GLORIA LN

1083

CASTINET LN

CAMEO BLVD
MONTERREY LN

CREAN TER

MCALLISTER LN

MORELIA LN



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN AMENDMENT
CROSTOWN PARKWAY PARKING
CROSTOWN PARKING, PARCEL 2

DATE: 2/24/2016

APPLICATION NUMBER:
P16-010

USER: patricias

SCALE: 1 in = 300 ft

EXISTING ZONING



ST. LUCIE WEST

Florida Turnpike

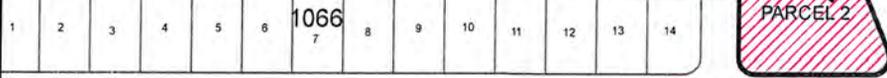
PARCEL 4

WMT-6

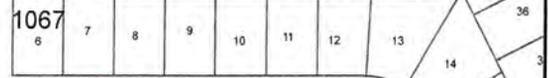
**SUBJECT
PROPERTY**

CROSSTOWN PKWY

JULIET AVE



PARCEL 2



OSR PARCEL 3

RS-2



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN AMENDMENT
CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKING, PARCEL 2

DATE: 2/24/2016

APPLICATION NUMBER:
P16-010

USER: patricias

SCALE: 1 in = 300 ft

APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX (772) 871-5124

FOR OFFICE USE ONLY

Planning Dept _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the 'City of Port St. Lucie.' Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it can not be processed. Attach proof of ownership; two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: jfinizio@cityofpsl.com

PROPERTY OWNER

Name: City of Port St. Lucie
Address: 121 SW Port St. Lucie Blvd

Telephone No.: (772) 871-5163 Fax No.: _____

IF PROPERTY IS IN MULTIPLE OR CORPORATE OWNERSHIP, PLEASE PROVIDE ONE CONTACT PERSON.

Name: _____
Address: _____

Telephone No.: _____ Fax No.: _____

AGENT OF OWNER (if any)

Name: _____
Address: _____

Telephone No.: _____ Fax No.: _____

PROPERTY INFORMATION

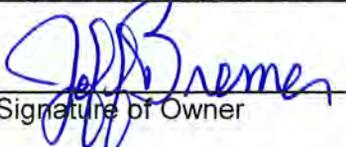
Boundary Description Crosstown Parkway Parcel 2
(attach map) _____

Property Tax I.D. Number 3335-601-0013-0007

Current Land Use RL (Low Density Residential) Proposed Land Use OSR (Open Space Recreational)

Current Zoning RS-2 (Single Family Residential) Acreage of Property 0.81acres

Reason for Comprehensive Plan Amendment: _____
The Public Works Department, moving forward to address issues outlined in the City's Strategic Plan, will be constructing a parking facility at this location. The proposed comprehensive plan will be amend the future land use to permit a OSR zoning designation for this property.



*Signature of Owner

JEFF BREMER

Hand Print Name

Date

*If signature is not that of owner, a letter of authorization from the owner is needed.

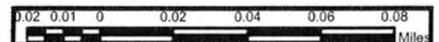
NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

**CROSTOWN PARKWAY, PARCEL 2
PARCEL 3335-601-0013-000-7**



Prepared by the City of Port St. Lucie
P&Z Department

February 5, 2016



ORDINANCE 17-

AN ORDINANCE OF THE CITY OF PORT ST. LUCIE, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST. LUCIE TO INCLUDE A SMALL SCALE AMENDMENT TO THE FUTURE LAND USE MAP FOR CITY OF PSL/CROSSTOWN PARKWAY – JANETTE AVENUE (P16-010) TO CHANGE THE FUTURE LAND USE DESIGNATION RL (LOW DENSITY RESIDENTIAL) TO OSR AND (OPEN SPACE RECREATIONAL) FOR A PARCEL LEGALLY DESCRIBED AS CROSSTOWN PARKWAY, PARCEL NO. 2, LOCATED ON THE SOUTHWEST CORNER OF CROSSTOWN PARKWAY AND CAMEO BOULEVARD; PROVIDING THE INVALIDITY OF ANY PORTION SHALL NOT AFFECT THE REMAINING PORTION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, Florida, has adopted a comprehensive plan known as the City of Port St. Lucie Comprehensive Plan adopted by Ordinance 97-50, as subsequently amended; and

WHEREAS, pursuant to Subsection 163.3187(1), Florida Statutes, the proposed amendment constitutes a City of Port St. Lucie permitted small scale amendment to the City of Port St. Lucie Comprehensive Plan; and

WHEREAS, the City of Port St. Lucie, owner of property legally defined as Crosstown Parkway, Parcel No. 2 located on the southwest corner of Crosstown Parkway and Cameo Boulevard (P16-010), has submitted an application for a small scale amendment to change the Future Land Use Map of the City of Port St. Lucie Comprehensive Plan, in accordance with Section 163.3187 (1) (c), Florida Statutes, to change approximately 0.81 acres from the future land use designation of RL (Low Density Residential) to the future land use designation of OSR (Open Space Recreational); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board having been duly

ORDINANCE 17-

designated as the local planning agency pursuant to Section 163.3174, et seq., Florida Statutes, and having held a public hearing thereon, has considered this proposed amendment (P16-010) to the Comprehensive Plan and submitted its recommendations thereon to the City Council; and

WHEREAS, the City Council held a public hearing on May 9, 2016 to consider the proposed small scale amendment, advertising of the public hearing having been made; and

WHEREAS, having considered the recommendations of the Planning and Zoning Board, The Port St. Lucie City Council desires to hereby formally adopt this amendment (P16-010) to the City's Comprehensive Plan as a Small Scale Amendment in accordance with Section 163.3187, Florida Statutes.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1. The Comprehensive Plan of the City of Port St. Lucie is hereby amended in the following respect:

(a) The Future Land Use Map is hereby amended to designate approximately 0.81 acres of land, Crosstown Parkway, Parcel No., located on the southwest corner of Crosstown Parkway and Cameo Boulevard, by changing the future land use designation from RL (Low Density Residential) to the future land use designation of OSR (Open Space Recreational).

Section 2. The provisions of the Ordinance are severable and, if any section, sentence, clause or phrase is for one reason held to be unconstitutional, invalid or

ORDINANCE 17-

ineffective, this holding shall not affect the validity of the remaining portions of this Ordinance, it being expressly declared to be the City Council's intent that it would have passed the valid portions of this Ordinance without inclusion of any invalid portion or portions.

Section 3. The effective date of this plan amendment shall be thirty-one (31) days after the adoption, pursuant to Section 163.3187(3) (c), Florida Statutes. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this _____ day of _____, 2017.

CITY COUNCIL

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

O. Reginald Osenton, City Attorney



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING AND ZONING BOARD - MEETING OF DECEMBER 6, 2016

FROM: JOHN FINIZIO, PLANNER *J.F.*

RE: CITY OF PSL/CROSTOWN PKWY – JANETTE AVENUE
 REZONING APPLICATION
 PROJECT NO. P16-011

DATE: NOVEMBER 22, 2016

PROPOSED USE: The City is seeking concurrent review of this rezoning application along with a proposed comprehensive plan amendment application. The rezoning is being submitted so the property will be compatible with the proposed future land use. The City's intention is to construct a parking lot so residents can better access the recreational amenities on Crosstown Parkway linear park.

APPLICANT/OWNER: City of Port St. Lucie.

LOCATION: The southwest corner of Crosstown Parkway and Cameo Boulevard.

LEGAL DESCRIPTION: Crosstown Parkway, Parcel No. 2.

SIZE: Approximately 0.81 acres.

EXISTING ZONING: RS-2 (Single Family Residential).

EXISTING USE: Vacant.

SURROUNDING USES:

Direction	Future Land Use	Zoning	Existing Use
N	U	I	Crosstown Parkway
S	OSR & RL	OSR & RS-2	Vacant land & Existing Single Family homes
E	RL	RS-2	Vacant lots
W	RL	RS-2	Vacant lots

REQUESTED ZONING: OSR (Open Space Recreational).

FUTURE LAND USE: Currently the future land use for this property is RL (Low Density Residential), but a comprehensive plan amendment application has been submitted (P16-010) to change the future land use to OSR (Open Space Recreational).

IMPACTS AND FINDINGS:

Land Use Consistency: This project is found to be consistent with the direction and policies of the Comprehensive Plan and with the proposed OSR future land use designation. The supporting goal and policies from the City's Comprehensive Plan are Goal 1.1, and Policy 1.1.1.13.

Goal 1.1 provides for an appropriate mix of land uses to meet the needs of current and future residents of Port St. Lucie in a way that is environmentally acceptable, and developed concurrent with needed facilities and services. Policy 1.1.4.13 confirms that the current conversion chart indicates that OSR zoning is a compatible zoning district with the OSR future land use classification.

Compliance With Conversion Area Requirements: Currently this area is not located in any conversion area.

Sewer/Water Service: The City of Port St. Lucie Utility Systems Department will provide water and sewer service to this development. As noted in accompanying comprehensive plan amendment (P16-010 City of PSL/Crosstown Parkway Janette Avenue Small Scale Comprehensive Plan Amendment), this property is being rezoned to accommodate a parking facility to service the recreational amenities on Crosstown Parkway. There is no intention of providing sewer or water for this project.

Environmental: This site was part of the Crosstown Parkway expansion and plat, and as such the site has already been cleared, and does not contain any uplands or have any unique environmental features. As part of the site plan process, the site will be required to provide all required landscaping as outlined in the City's Landscape Code (Chapter 154).

Schools: Not applicable as this is does not have a residential component for this project.

Other: As required by §158.126 (L), an approved site plan is required before any on-site and off-site improvements can be made to ensure compliance with all City rules and regulations.

STAFF RECOMMENDATION:

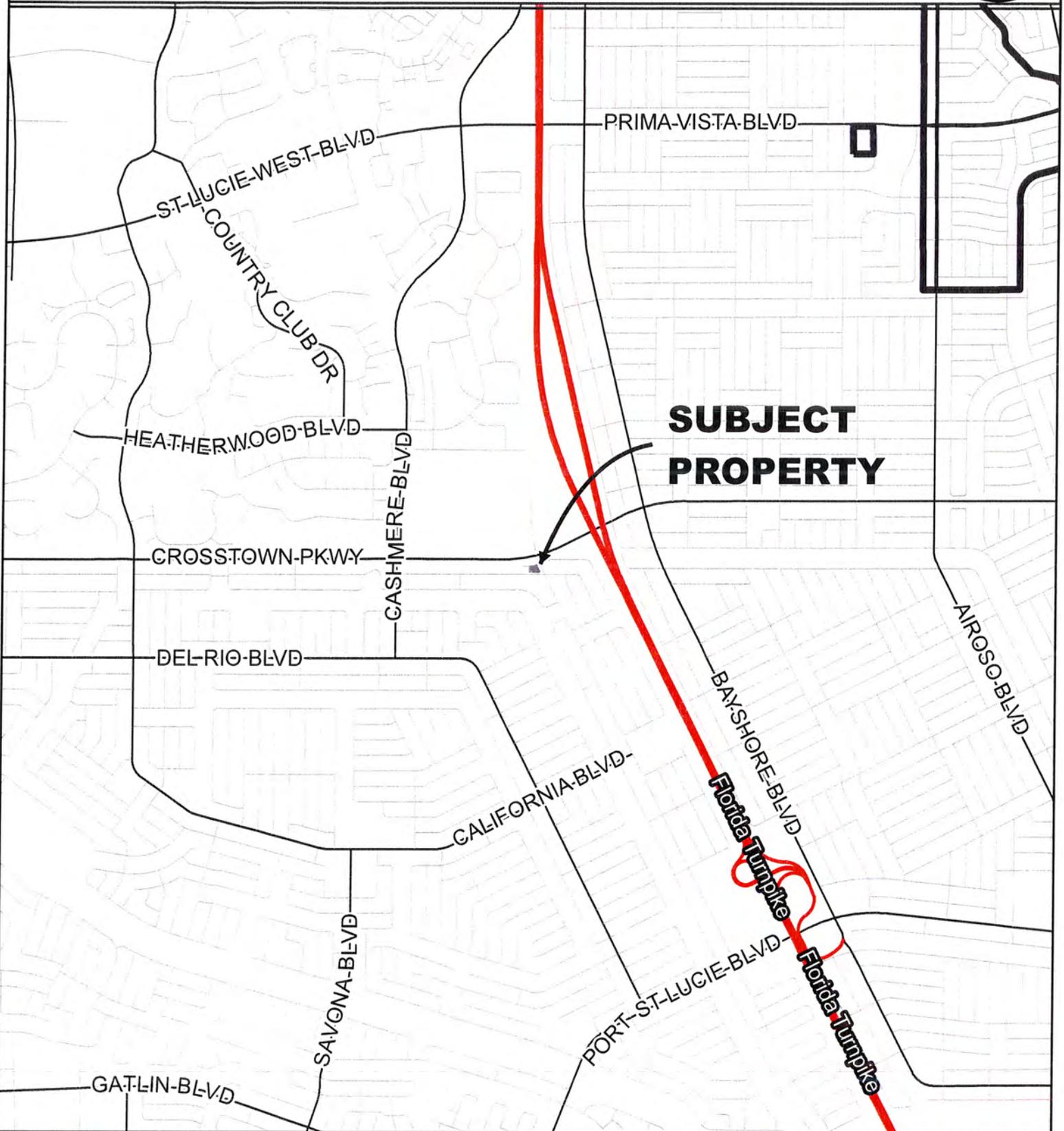
The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION

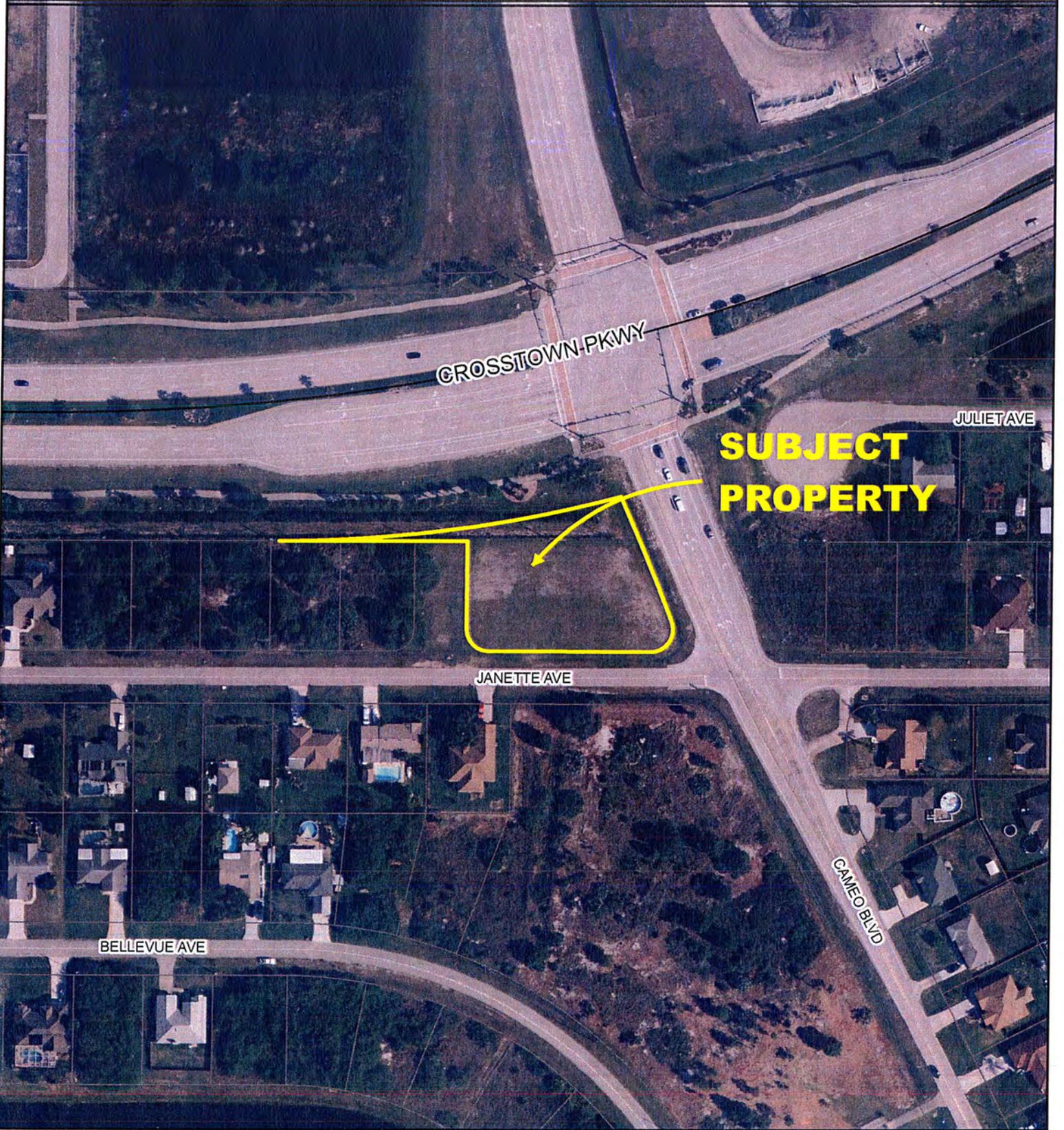


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKWAY, PARCEL 2

DATE:	2/24/2016
APPLICATION NUMBER:	P16-011
USER:	patricias
SCALE:	1 in = 0.5 miles

AERIAL



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKWAY, PARCEL 2
AERIAL DATE 2014

DATE: 2/24/2016

APPLICATION NUMBER:
P16-011

USER:
patricias

SCALE:
1 in = 150 ft

FUTURE LAND USE



ST. LUCIE WEST

U

**Florida Turnpike
HWY**

PARCEL 4

WMT-6

SUBJECT

PROPERTY

JULIET AVE

CROSSTOWN PKWY

PARCEL 2

JANETTE AVE

OSR

PARCEL 3

RL

BELLEVUE AVE

9

JACQUELINE AVE

1074

1070

1069

1083

1082



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING

CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKWAY, PARCEL 2

DATE: 2/24/2016

APPLICATION NUMBER:
P16-011

USER:
patricias

SCALE: 1 in = 305 ft

EXISTING ZONING



ST. LUCIE WEST

Florida Turnpike

PARCEL 4

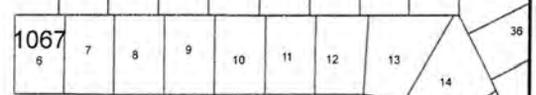
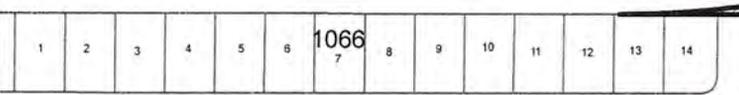
WMT-6

SUBJECT

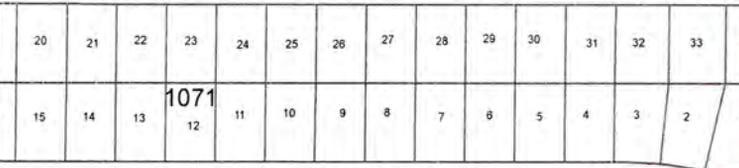
PROPERTY

CROSSTOWN PKWY

JULIET AVE



JANETTE AVE



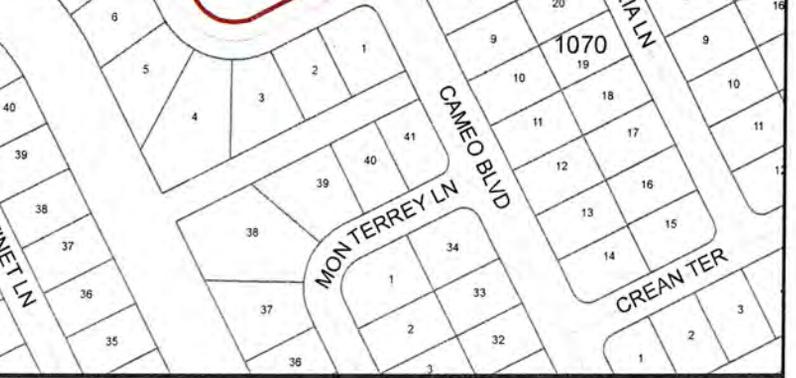
BELLEVUE AVE

OSR

PARCEL 3

RS-2

9



JACQUELINE AVE

CAROLINA ST

FINCH LN

1082

GLORIA LN

1083

CASTNET LN

MONTERREY LN

CAMEO BLVD

CREAN TER

1069

1070



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
CROSSTOWN PARKWAY PARKING
CROSSTOWN PARKWAY, PARCEL 2

DATE: 2/24/2016

APPLICATION NUMBER:
P16-011

USER:
patricias

SCALE:
1 in = 305 ft

REZONING APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX:(772) 871-5124

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: jfinizio@cityofportstlucie.com

PROPERTY OWNER:

Name: City of Port St. Lucie
Address: 121 SW Port St. Lucie Blvd, PSL, FL 349984
Telephone No.: (772) 871-5163 FAX No.: _____

AGENT OF OWNER (if any)

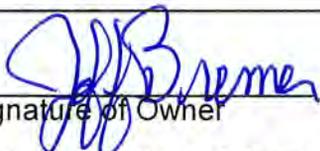
Name: _____
Address: _____
Telephone No.: _____ FAX No: _____

PROPERTY INFORMATION

Legal Description: Crosstown Parkway Parcel 2
(Include Plat Book and Page)
Parcel I.D. Number: 3335-601-0013-0007
Current Zoning: RS-2 (Single Family Residential)
Proposed Zoning: OSR (Open Space Recreational)
Future Land Use Designation: OSR Acreage of Property: 0.81

Reason for Rezoning Request: _____

To permit the development of a small off-street parking facility as part of the Crosstown Parkway Recreational Trial.



*Signature of Owner



Hand Print Name

Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

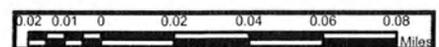
NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

**CROSSTOWN PARKWAY, PARCEL 2
PARCEL 3335-601-0013-000-7**



Prepared by the City of Port St. Lucie
P&Z Department

February 5, 2016



ORDINANCE 17-

AN ORDINANCE TO REZONE 0.81 ACRES OF PROPERTY LOCATED ON THE SOUTHWEST CORNER OF CROSSTOWN PARKWAY AND CAMEO BOULEVARD FROM RS-2 (SINGLE FAMILY RESIDENTIAL) TO OSR (OPEN SPACE RECREATIONAL) FOR A PROJECT KNOWN AS CITY OF PSL/CROSSTOWN PARKWAY JANETTE AVENUE, P16-011; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, seeks to rezone approximately 0.81 acres of property located on the southwest corner of Crosstown Parkway and Cameo Boulevard within the City of Port St. Lucie, from the zoning designation of RS-2 (Single Family Residential) to OSR (Open Space Recreational); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board held a public hearing on December 6, 2016 to consider the rezoning application (P16-011), notice of said hearing to adjoining property owners for a radius of seven-hundred and fifty (750) feet having been given and advertising of public hearing having been made; and

WHEREAS, the City Council held a public hearing on the January 23, 2017 to consider the rezoning application (P16-011), advertising of the public hearing having been made.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1: That the property described as Crosstown Parkway, Parcel 2 Port St. Lucie be rezoned from the Zoning Classification of RS-2 (Single Family Residential) to OSR (Open Space Recreational).

Section 2: That this Ordinance shall become effective ten (10) days after its final adoption.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this

_____ day of _____ 2017.

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

BY: _____
O. Reginald Osenton, City Attorney



**City of Port St. Lucie
Planning and Zoning Department
A City for All Ages**

TO: PLANNING & ZONING BOARD - MEETING OF DECEMBER 6, 2016
FROM: JOHN FINIZIO, PLANNER *J.F.*
RE: CITY OF PSL/CROSSTOWN PKWY EMPIRE STREET
SMALL SCALE COMPREHENSIVE PLAN AMENDMENT
PROJECT NO. P16-012
DATE: NOVEMBER 22, 2016

PROPOSED PROJECT: To amend the future land use of 6.14 acres from RL (Low Density Residential) to OSR (Open Space Recreational) to allow for the future recreational amenities on this site.

APPLICANT/OWNER: The City of Port St. Lucie.

LOCATION: The southwest corner of Empire Street and Crosstown Parkway.

LEGAL DESCRIPTION: Water Management (WMT) 7 of the Crosstown Parkway Plat.

SIZE: Approximately 6.14 acres.

EXISTING ZONING: RS-2 (Single Family Residential).

EXISTING USE: This property is currently being used as a water management tract for the Crosstown Parkway.

SURROUNDING USES:

Direction	Future Land Use	Zoning	Existing Use
N	RL	RS-2	Crosstown Parkway
S	RL	RS-2	Existing residences
E	RL	RS-2	Existing residences
W	RL	RS-2	Existing residences

EXISTING LAND USE DESIGNATION: RL (Low Density Residential).

REQUESTED LAND USE DESIGNATION: OSR (Open Space Recreational).

IMPACTS AND FINDINGS:

Sewer/Water Service: Port St. Lucie Utility Systems Department will provide water and sewer service to this development. A comparison of the potable water and wastewater demand for the existing land use is as follows:

Water Calculations for proposed future land use (RL)					
Land Use	Dwelling Units	Potable Water Rate (gpd/1000 sf)	Projected Water (gpd)	Wastewater Rate (gpd/1,000 sf)	Projected Wastewater (gpd)
RL	30	115	8,039	97.75	6,833

This project originally was to construct a parking facility for Crosstown Parkway, however this concept was recently changed and the parking will now be located in the existing right-of-way, so there will not be any parking on the site. That being said, the City is going forward with the comprehensive plan amendment for this property mainly because there were also some discussions about having other recreational amenities on this site at a future date.

At this time there is no utility usage planned for this facility. Since, the OSR Land Use does allow a maximum 30% coverage for parks and other such recreational uses, if future development does include utility usage, demand will be as follows:

Water Calculations for proposed future land use (OSR)					
Land Use	Area (sf)	Potable Water Rate (gpd/1000 sf)	Projected Water (gpd)	Wastewater Rate (gpd/1,000 sf)	Projected Wastewater (gpd)
OSR	80,237	120*	9,628	102	8,184

*Water rates for parks are not identified in the City's Concurrency Management System, so this calculation utilizes the water rates for office/school which is greatly overstating the potential water usage if this site is developed.

With the introduction of a park component, there could be a slight increase in the water demand with this land use amendment. At maximum capacity, the proposed land use will have a water demand of 9,628 gpd, with a total wastewater generation of 8,184 gpd, which is an increase over the existing residential land use as noted below.

Land Use	Water (gpd)	Wastewater (gpd)
Existing	8,039	6,832
Proposed	9,628	8,184

Difference	1,589	1,352
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Please note, the initial project is not anticipating to have any utilities in place. This projected usage will only be applicable if the site is redeveloped to its maximum allowable density, which is not probable considering the site is currently being used as a water management tract. If developed, this proposed comprehensive plan amendment will result in an increase in water and wastewater demand. Both potable water distribution and sanitary sewer collection systems are available for this property.

Transportation: The approximate number of vehicle trip ends for this property will be approximately 31 a.m. peak hour trips, and 36 p.m. peak hour trips (ITE, Land Use Code 210 (Single Family Detached Housing)). The approximate number of vehicle trip ends projected to be generated from the proposed future land use change is approximately 10 (ITE, Land Use Code 411 (City Park)).

Traffic Analysis for proposed land use (RL)						
Land Use Code	Land Use	Intensity	Trip Generation Calculation	A.M. Peak Hour	Trip Generation Calculation	P.M. Peak Hour
210	Single Family	30 du	$T=0.7(X) + 9.74$	31	$\ln(T)=0.90\ln(X) + 0.51$	36
Total				31		36

Traffic Analysis for proposed land use (OSR)				
Land Use Code	Land Use	Intensity	Trip Generation Calculation	Weekday Trips
411	City Park	6.14	Average Rate = 1.59	10
Total				10

*The ITE Trip Generation Manual does not provide a fitted equation for this use. Number of trips for city parks is dependent on the overall acreage. For weekday trips the average rate is 1.59, however the trip generation rate on Sundays is 16. No a.m. or p.m. peak hour calculations are provided. It is anticipated that the average number of trips for this facility will be between two and 16 daily.

Since parks generally are not considered a peak hour use, changing the land use to OSR should see a decrease in peak hour trip ends. This represents a net decrease for both a.m. peak hour and p.m. peak hour trips onto the surrounding streets, in particular Empire Street and Crosstown Parkway. Trip projections are calculated by using the Institute of Transportation Engineers (ITE) "Trip Generation Manual, 8th Edition".

Parks/Open Space: Changing the future land use to OSR will prohibit residential development on this parcel, therefore, parkland would not be required for this project.

Schools: Since there is no residential component to this project, school concurrency will not apply.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available to accommodate this project.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available to accommodate this project.

Environmental: This site was part of the Crosstown Parkway expansion and plat, and as such the site has already been cleared, and is being used as a water management tract and does not contain any uplands or have any unique environmental features. If a site plan is submitted in the future for any improvements on this site, the site will be required to provide all required landscaping as outlined in the City's Landscape Code (Chapter 154).

Flood Zone: This parcel is located in Panel Number 12111C0275F, and is located within FEMA's Flood Zone X. Zone X is determined to be located outside the 100 and 500 year floodplains.

Police: The department's response time is approximately 6-10 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Fire/EMS: The nearest station is No. 3 which is located at 480 SW Ravenswood Lanes. The St. Lucie County Fire District does not list response times for each individual station because of the necessity of responding with another station. This proposed Comprehensive Plan Amendment does not result in any change in the Fire District's previous service commitments to this project and are not expected to be adversely impacted.

Compatibility Analysis: Changing the land use from RL (Low Density Residential) to OSR (Open Space Recreational) is not expected to have any adverse impact on the surrounding area. This parcel is located in a residential area of the City, and the OSR Land Use should not have any adverse effects on the existing residential development. The proposed land use change is only to permit future recreation amenities on the property that may not be approved with the currently land use. The on street parking that is being proposed on Empire will not require any external lighting, and landscaping will be provided to ensure compliance with the City's Landscape Code to help buffer it from the surrounding residential uses.

Justification/Mitigation: There are several Goals, Policies, and Objectives in the City of Port St. Lucie's Comprehensive Plan which help justify this development. Objective

1.1.4, policy 1.1.4.6 (a), and objective 1.1.7 of the Comprehensive Plan provide justification for this Comprehensive Plan Amendment. Objective 1.1.4 which directs future growth, development and redevelopment should be directed to appropriate areas as depicted on the Future Land Use Map. Policy 1.1.4.6 (a) ensures that the OSR Land Use is designated for existing or future parks. Objective 1.1.7.1 permits the City to initiate and utilize planning and development controls to discourage the proliferation of urban sprawl, encourage innovative development, greater diversity of land uses, and to improve community appearance.

STAFF RECOMMENDATION:

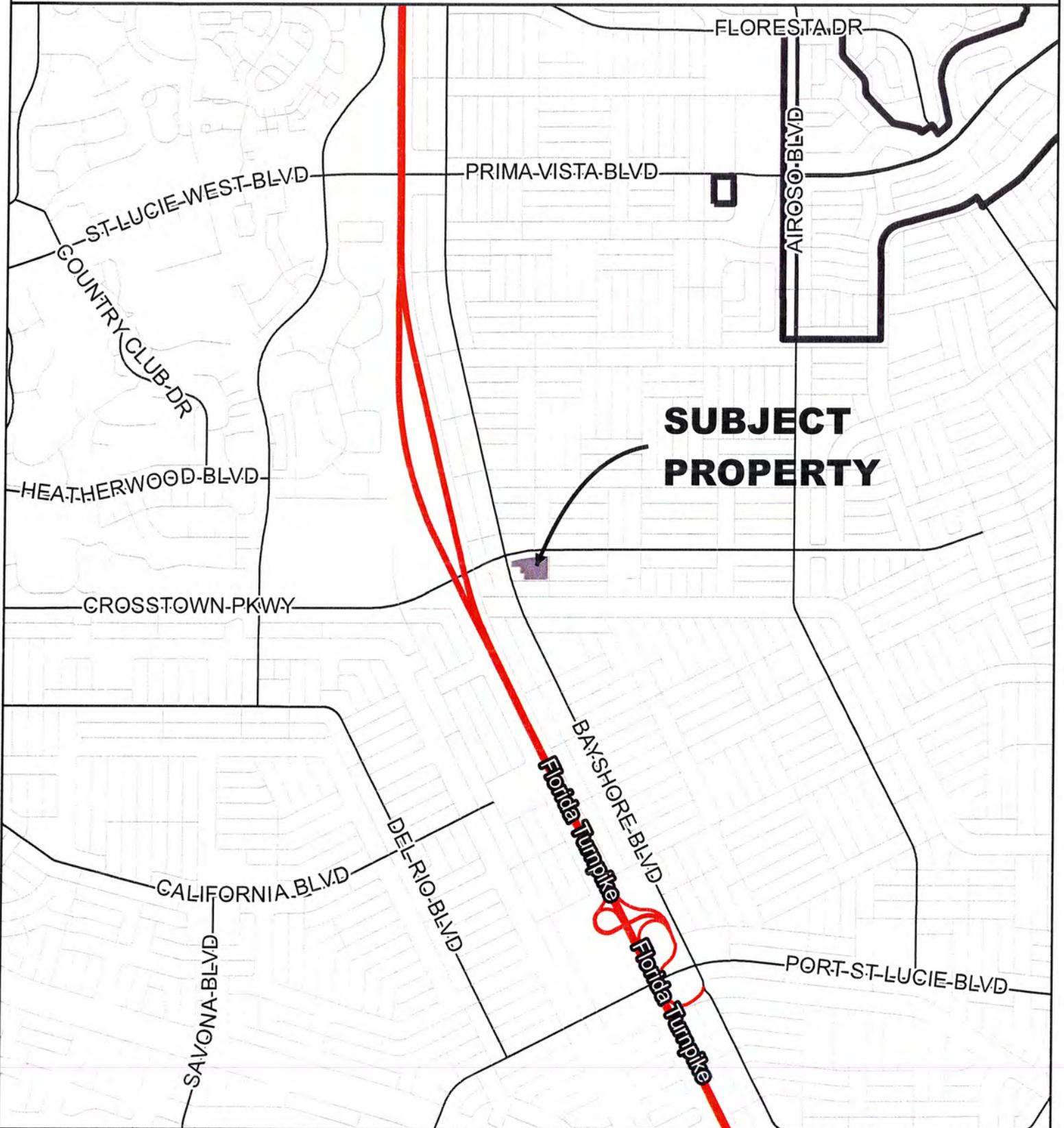
The Planning and Zoning Department staff finds the petition to be consistent with the intent and direction of the City's Comprehensive Plan and recommends approval of the proposed amendment based on the analysis and findings as noted in the staff report.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION



**SUBJECT
PROPERTY**



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN AMENDMENT
CROSSTOWN PARKWAY PARKING
WATER MANAGEMENT TRACT NO. 7

DATE:	2/24/2016
APPLICATION NUMBER:	P16-012
USER:	patricias
SCALE:	1 in = 0.5 miles

AERIAL

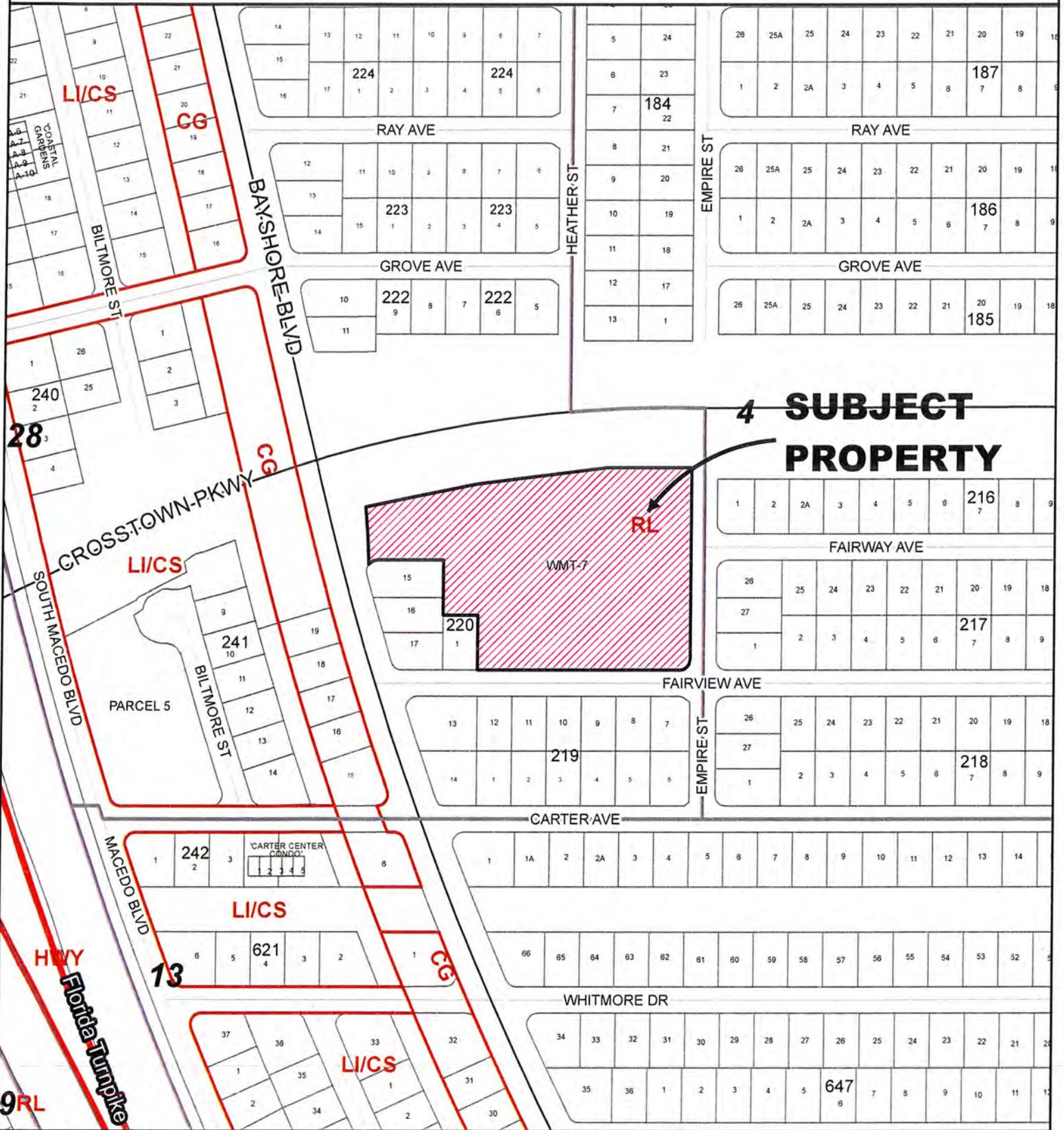


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN AMENDMENT
CROSSTOWN PARKWAY PARKING
WATER MANAGEMENT TRACT NO. 7
AERIAL DATE 2014

DATE:	2/24/2016
APPLICATION NUMBER:	P16-012
USER:	patricias
SCALE:	1 in = 200 ft

FUTURE LAND USE



4 SUBJECT PROPERTY

 <p>CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.</p>	<p>COMPREHENSIVE PLAN AMENDMENT</p>		<p>DATE: 2/24/2016</p>
	<p>CROSSTOWN PARKWAY PARKING</p>		<p>APPLICATION NUMBER: P16-012</p>
	<p>WATER MANAGEMENT TRACT NO. 7</p>		<p>USER: patricias</p>
			<p>SCALE: 1 in = 300 ft</p>

APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT

CITY OF PORT ST. LUCIE

Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX (772) 871-5124

FOR OFFICE USE ONLY

Planning Dept _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the 'City of Port St. Lucie.' Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it can not be processed. Attach proof of ownership; two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: jfinizio@cityofpsl.com

PROPERTY OWNER

Name: City of Port St. Lucie
Address: 121 SW Port St. Lucie Blvd
Telephone No.: (772) 871-5163 Fax No.: _____

IF PROPERTY IS IN MULTIPLE OR CORPORATE OWNERSHIP, PLEASE PROVIDE ONE CONTACT PERSON.

Name: _____
Address: _____
Telephone No.: _____ Fax No.: _____

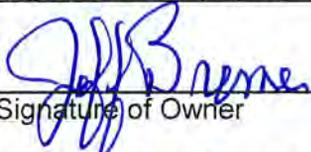
AGENT OF OWNER (if any)

Name: _____
Address: _____
Telephone No.: _____ Fax No.: _____

PROPERTY INFORMATION

Boundary Description Crosstown Parkway Water Management Tract (WMT) 7
(attach map)
Property Tax I.D. Number 3335-601-0009-0006
Current Land Use RL (Low Density Residential) Proposed Land Use OSR (Open Space Recreational)
Current Zoning RS-2 (Single Family Residential) Acreage of Property 6.14 acres

Reason for Comprehensive Plan Amendment: _____
The Public Works Department, moving forward to address issues outlined in the City's Strategic Plan, will be constructing a parking facility at this location. The proposed comprehensive plan will be amend the future land use to permit a OSR zoning designation for this property.



*Signature of Owner

JEFF BREMER

Hand Print Name

Date

*If signature is not that of owner, a letter of authorization from the owner is needed.

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

**CROSTOWN PARKWAY, WMT - 7
PARCEL 3335-601-0009-000-6**



Prepared by the City of Port St. Lucie
P&Z Department

February 5, 2016



ORDINANCE 17-

AN ORDINANCE OF THE CITY OF PORT ST. LUCIE, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST LUCIE TO INCLUDE A SMALL SCALE AMENDMENT TO THE FUTURE LAND USE MAP FOR CITY OF PSL/CROSSTOWN PARKWAY EMPIRE STREET (P16-012) TO CHANGE THE FUTURE LAND USE DESIGNATION RL (LOW DENSITY RESIDENTIAL) TO OSR (OPEN SPACE RECREATIONAL) FOR A PARCEL LEGALLY DESCRIBED AS CROSSTOWN PARKWAY WATER MANAGEMENT TRACT (WMT) 7, LOCATED ON THE SOUTHWEST CORNER OF EMPIRE STREET AND CROSSTOWN PARKWAY PROVIDING THE INVALIDITY OF ANY PORTION SHALL NOT AFFECT THE REMAINING PORTION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, Florida, has adopted a comprehensive plan known as the City of Port St. Lucie Comprehensive Plan adopted by Ordinance 97-50, as subsequently amended; and

WHEREAS, pursuant to Subsection 163.3187(1), Florida Statutes, the proposed amendment constitutes a City of Port St. Lucie permitted small scale amendment to the City of Port St. Lucie Comprehensive Plan; and

WHEREAS, the City of Port St. Lucie, owner of property legally defined as Crosstown Parkway Water Management Tract (WMT) 7, located on the southwest corner of Empire Street and Crosstown Parkway, for a small scale amendment to change the Future Land Use Map of the City of Port St. Lucie Comprehensive Plan, in accordance with Section 163.3187 (1) (c), Florida Statutes, to change approximately 6.14 acres from the future land use designation of RL (Low Density Residential) to the future land use designation of OSR (Open Space Recreational); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board having been duly designated as the local planning agency pursuant to Section 163.3174 et. seq., Florida

ORDINANCE 17-

Statutes, and having held a public hearing thereon, has considered this proposed amendment (P16-012) to the Comprehensive Plan and submitted its recommendations thereon to the City Council; and

WHEREAS, the City Council held a public hearing on the January 23, 2017 to consider the proposed small scale amendment, advertising of the public hearing having been made; and;

WHEREAS, having considered the recommendations of the Planning and Zoning Board, The Port St. Lucie City Council desires to hereby formally adopt this amendment (P16-012) to the City's Comprehensive Plan as a Small Scale Amendment in accordance with Section 163.3187, Florida Statutes.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1. The Comprehensive Plan of the City of Port St. Lucie is hereby amended in the following respect:

(a) The Future Land Use Map is hereby amended to designate approximately 6.14 acres of land legally described as Crosstown Parkway Water Management Tract (WMT) 7, and located on the southwest corner of Empire Street and Crosstown Parkway by changing the future land use designation from RL (Low Density Residential) to the future land use designation of OSR (Open Space Recreational).

Section 2. The provisions of the Ordinance are severable and, if any section, sentence, clause or phrase is for one reason held to be unconstitutional, invalid or ineffective, this holding shall not affect the validity of the remaining portions of this Ordinance, it being expressly declared to be the City Council's intent that it would have

ORDINANCE 17-

passed the valid portions of this Ordinance without inclusion of any invalid portion or portions.

Section 3. The effective date of this plan amendment shall be thirty-one (31) days after the adoption, pursuant to Section 163.3187(3) (c), Florida Statutes. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this _____ day of _____, 2017.

CITY COUNCIL

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

O. Reginald Ostenton, City Attorney



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING AND ZONING BOARD - MEETING OF DECEMBER 6, 2017

FROM: JOHN FINIZIO, PLANNER *JF*

RE: CITY OF PSL/CROSTOWN PKWY EMPIRE STREET
 REZONING APPLICATION
 PROJECT NO. P16-013

DATE: NOVEMBER 22, 2016

PROPOSED USE: The City is seeking concurrent review of this rezoning application along with a proposed comprehensive plan amendment application. The rezoning is being submitted so the property will be compatible with the proposed future land use. It is the intent of the City to construct a parking lot so residents can better access the recreational amenities on Crosstown Parkway.

APPLICANT/OWNER: City of Port St. Lucie.

LOCATION: The southwest corner of Empire Street and Crosstown Parkway.

LEGAL DESCRIPTION: Water Management (WMT) 7 of the Crosstown Parkway Plat.

SIZE: Approximately 6.14 acres.

EXISTING ZONING: RS-2 (Single Family Residential).

EXISTING USE: This property is currently being used as a water management tract for the Crosstown Parkway.

SURROUNDING USES:

Direction	Future Land Use	Zoning	Existing Use
N	RL	RS-2	Crosstown Parkway
S	RL	RS-2	Existing residences
E	RL	RS-2	Existing residences
W	RL	RS-2	Existing residences

REQUESTED ZONING: OSR (Open Space Recreational).

FUTURE LAND USE: Currently the future land use for this property is RL (Low Density Residential), but a comprehensive plan amendment application has been submitted (P16-012) to change the future land use to OSR (Open Space Recreational).

IMPACTS AND FINDINGS:

Land Use Consistency: This project is found to be consistent with the direction and policies of the Comprehensive Plan and with the proposed OSR future land use designation. The supporting goal and policies from the City's Comprehensive Plan are Goal 1.1, and Policy 1.1.1.13.

Goal 1.1 provides for an appropriate mix of land uses to meet the needs of current and future residents of Port St. Lucie in a way that is environmentally acceptable, and developed concurrent with needed facilities and services. Policy 1.1.4.13 confirms that the current conversion chart indicates that OSR zoning is a compatible zoning district with the OSR future land use classification.

Compliance With Conversion Area Requirements: This area is not located in any conversion area.

Sewer/Water Service: Port St. Lucie Utility Systems Department will provide water and sewer service to this development. As noted in accompanying comprehensive plan amendment (P16-012 City of PSL/Crosstown Parkway Empire Street Small Scale Comprehensive Plan Amendment), this property is being rezoned to allow future recreational amenities on the site. At this time there is no intention of providing sewer or water for this project.

Environmental: This site was part of the Crosstown Parkway expansion and plat, and as such the site has already been cleared, and does not contain any uplands or have any unique environmental features. It is being used as a water management tract for the Crosstown Parkway, so much of the site contains a detention pond. As part of any future site plan process, the site will be required to provide all required landscaping as outlined in the City's Landscape Code (Chapter 154).

Schools: Not applicable as this site does not have a residential component for this project.

Other: As required by §158.126 (L), an approved site plan is required before any on-site and off-site improvements can be made to ensure compliance with all City rules and regulations.

STAFF RECOMMENDATION:

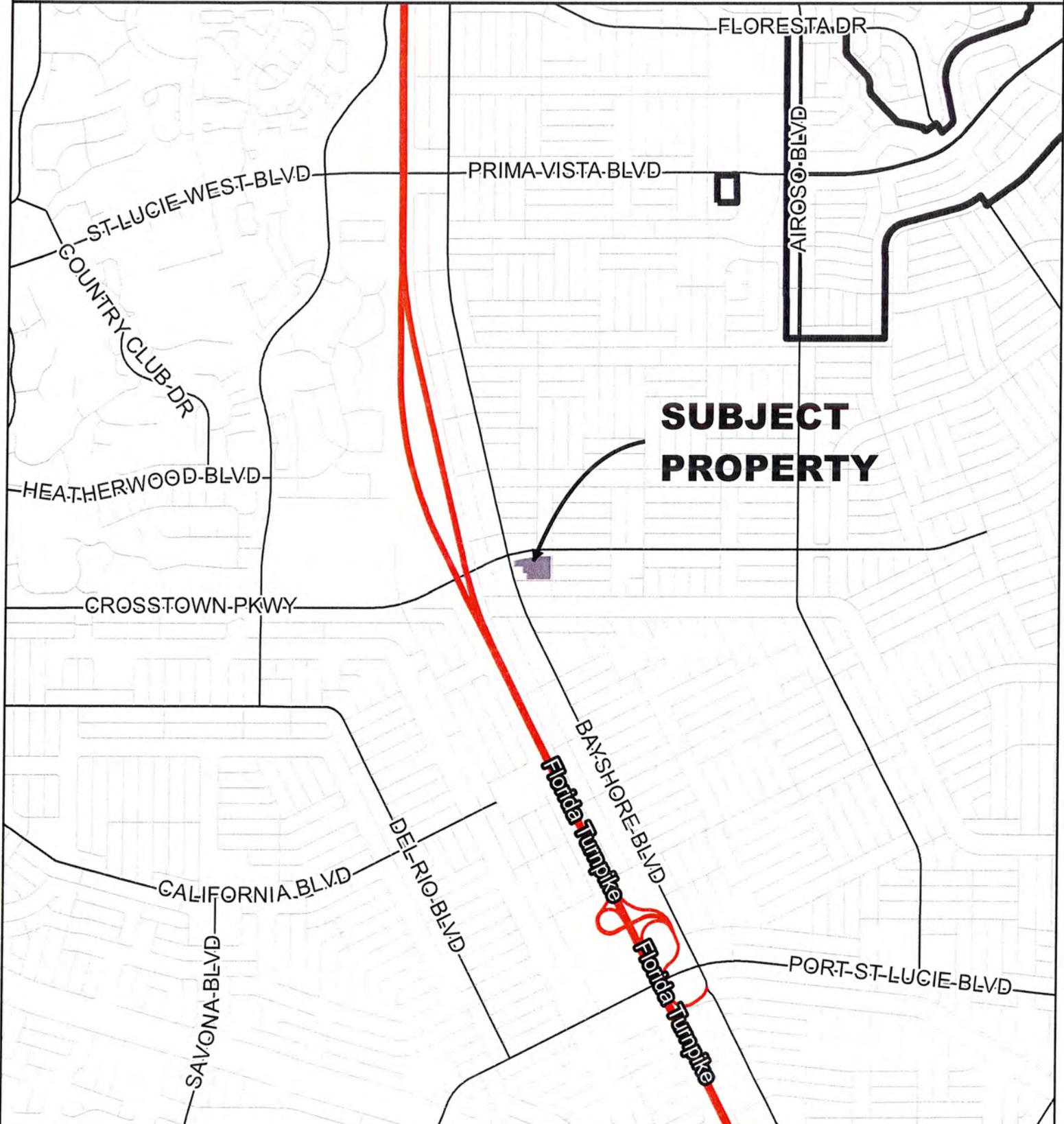
The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION

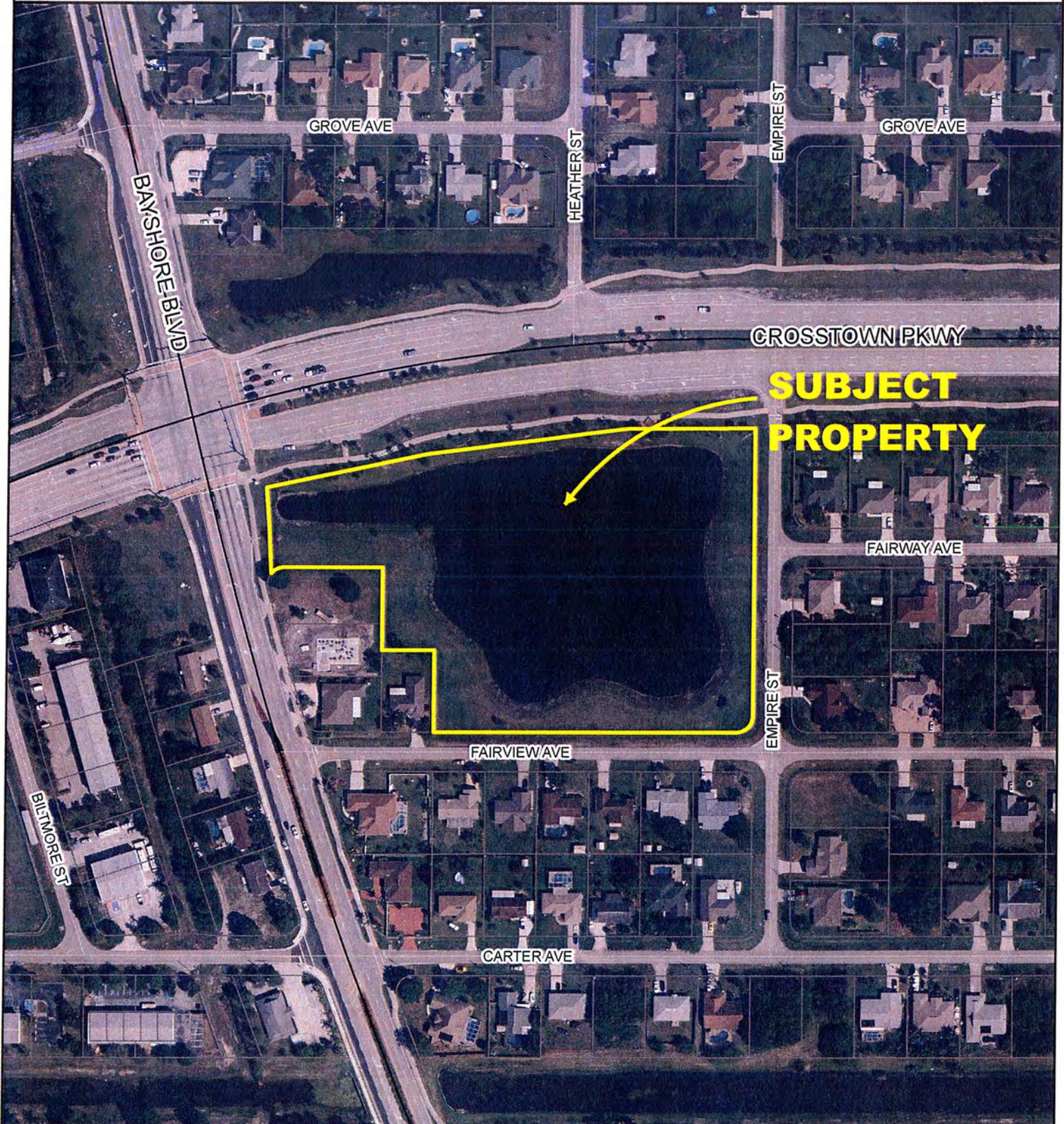


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
CROSSTOWN PARKWAY PARKING
WATER MANAGEMENT TRACT NO. 7

DATE:	2/24/2016
APPLICATION NUMBER:	P16-013
USER:	patricias
SCALE:	1 in = 0.5 miles

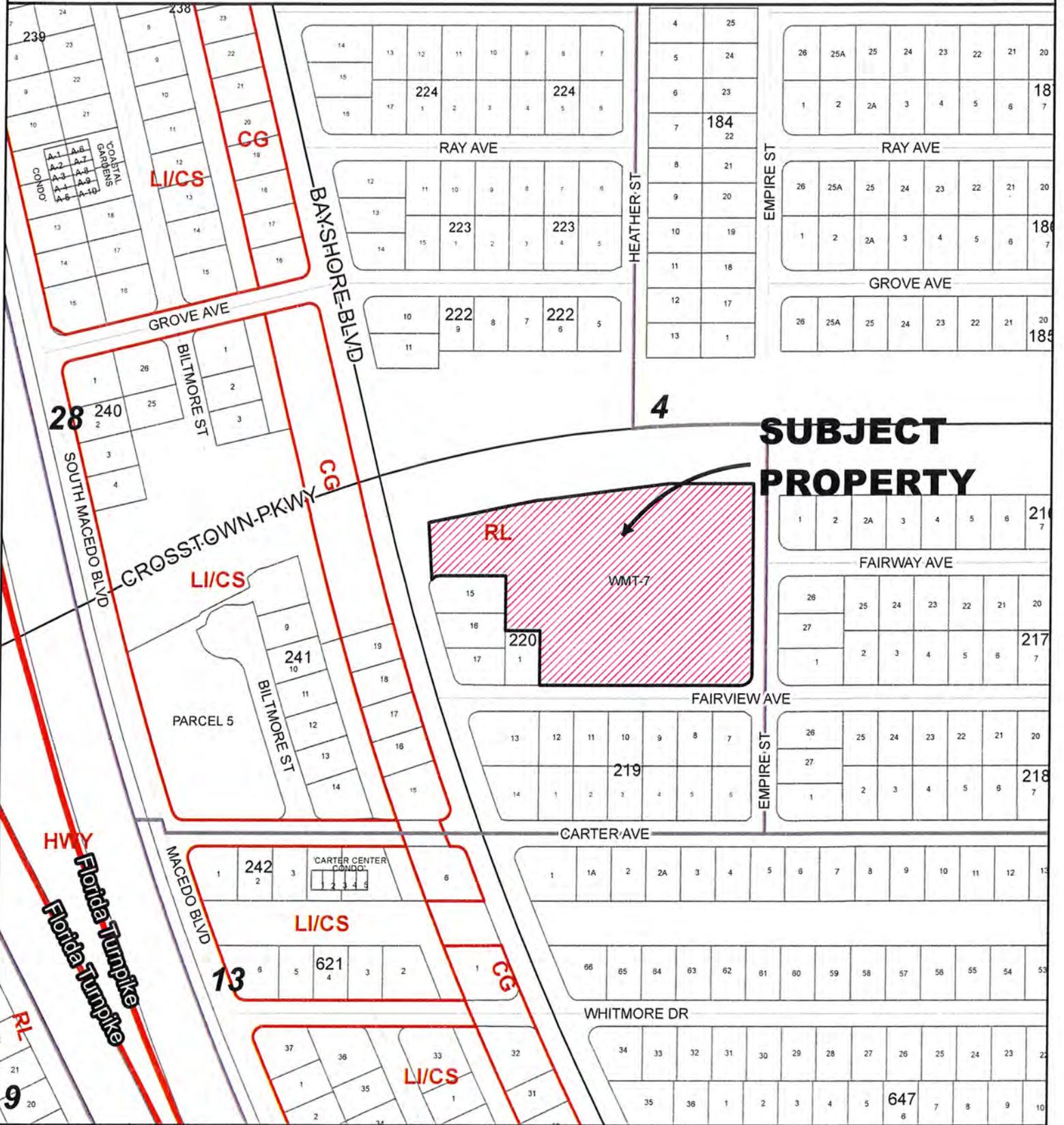
AERIAL



**SUBJECT
PROPERTY**

	CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.	REZONING CROSSTOWN PARKWAY PARKING WATER MANAGEMENT TRACT NO. 7 AERIAL DATE 2014	DATE: 2/24/2016
			APPLICATION NUMBER: P16-013
			USER: patricias
			SCALE: 1 in = 200 ft

FUTURE LAND USE



**SUBJECT
PROPERTY**

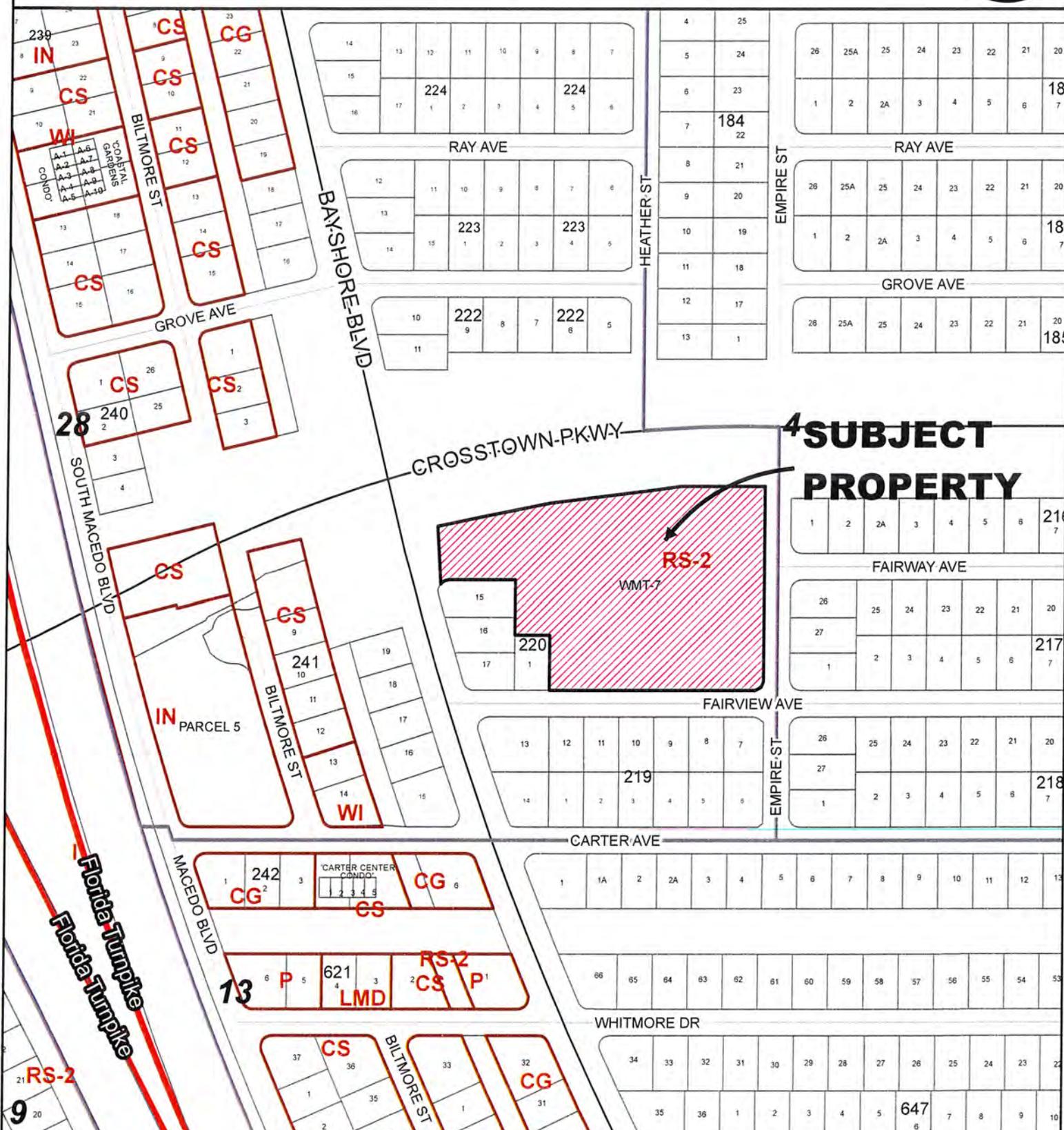


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
CROSSTOWN PARKWAY PARKING
WATER MANAGEMENT TRACT NO. 7

DATE: 2/24/2016
APPLICATION NUMBER: P16-013
USER: patricias
SCALE: 1 in = 300 ft

EXISTING ZONING



4 SUBJECT PROPERTY

 <p>CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.</p>	<p>REZONING CROSSTOWN PARKWAY PARKING WATER MANAGEMENT TRACT NO. 7</p>	<p>DATE: 2/24/2016</p>
		<p>APPLICATION NUMBER: P16-013</p>
		<p>USER: patricias</p>
		<p>SCALE: 1 in = 300 ft</p>

REZONING APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX:(772) 871-5124

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: jfinizio@cityofportstlucie.com

PROPERTY OWNER:

Name: City of Port St. Lucie
Address: 121 SW Port St. Lucie Blvd, PSL, FL 349984
Telephone No.: (772) 871-5163 FAX No.: _____

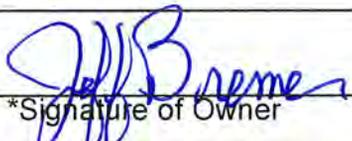
AGENT OF OWNER (if any)

Name: _____
Address: _____
Telephone No.: _____ FAX No.: _____

PROPERTY INFORMATION

Legal Description: Crosstown Parkway Water Management Tract (WMT) 7
(Include Plat Book and Page)
Parcel I.D. Number: 3335-601-0009-0006
Current Zoning: RS-2 (Single Family Residential)
Proposed Zoning: OSR (Open Space Recreational)
Future Land Use Designation: OSR Acreage of Property: 6.14

Reason for Rezoning Request: _____
To permit the development of a small off-street parking facility as part of the Crosstown Parkway Recreational Trial.



*Signature of Owner



Hand Print Name

Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

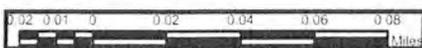
NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

**CROSTOWN PARKWAY, WMT - 7
PARCEL 3335-601-0009-000-6**



Prepared by the City of Port St. Lucie
P&Z Department

February 5, 2016



ORDINANCE 17-

AN ORDINANCE TO REZONE 6.14 ACRES OF PROPERTY LOCATED ON THE SOUTHWEST CORNER OF EMPIRE STREET AND CROSSTOWN PARKWAY FROM RS-2 (SINGLE FAMILY RESIDENTIAL) TO OSR (OPEN SPACE RECREATIONAL) FOR A PROJECT KNOWN AS CITY OF PSL/CROSSTOWN PARKWAY EMPIRE STREET, P16-013; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, seeks to rezone approximately 6.14 acres of property located on the southwest corner of Empire Street and Crosstown Parkway and within the City of Port St. Lucie, from the zoning designation of RS-2 (Single Family Residential) to OSR (Open Space Recreational); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board held a public hearing on December 6, 2016 to consider the rezoning application (P16-013), notice of said hearing to adjoining property owners for a radius of seven-hundred and fifty (750) feet having been given and advertising of public hearing having been made; and

WHEREAS, the City Council held a public hearing on the January 23, 2017 to consider the rezoning application (P16-013), advertising of the public hearing having been made.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1: That the property described as Crosstown Parkway Water Management Tract (WMT) 7, Port St. Lucie be rezoned from the Zoning Classification of RS-2 (Single Family Residential) to OSR (Open Space Recreational).

Section 2: That this Ordinance shall become effective ten (10) days after its final adoption.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this

_____ day of _____ 2017.

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

BY: _____
O. Reginald Ostenton, City Attorney



City of Port St. Lucie Planning and Zoning Department A City for All Ages

TO: PLANNING AND ZONING BOARD - MEETING OF DECEMBER 6, 2016
FROM: JOHN FINIZIO, PLANNER *JF*
RE: GEORGE CALLAS HOLDINGS
REZONING APPLICATION
PROJECT NO. P16-171
DATE: NOVEMBER 22, 2016

PROPOSED PROJECT: This application proposes to rezone approximately 1.78 acres from RS-2 (Single Family Residential) to CS (Service Commercial).

APPLICANT: Bradley J. Currie, Engineering Design & Construction, Inc. The authorization letter is attached to the staff report.

OWNER: George Callas Holdings, LLC.

LOCATION: The property is located on the south side of Gatlin Boulevard, between Edgarc Street and Fondura Road.

LEGAL DESCRIPTION: Port St. Lucie Section 31, Block 1711, Lots 1-8, and Block 1712, Lots 1-4.

SIZE: Approximately 1.78 acres.

EXISTING ZONING: RS-2 (Single Family Residential).

EXISTING USE: Vacant.

SURROUNDING USES:

Direction	Future Land Use	Zoning	Existing Use
N	CH	CH	Existing commercial
S	CS	RS-2	Vacant lots
E	CG & CS	PUD & CS	Vacant lots
W	CG & CH	CG & CH	Existing storage facility

REQUESTED ZONING: CS (Service Commercial).

FUTURE LAND USE: CH (Highway Commercial) and CS. This application includes lots within the City's conversion area (PSL Section 31, Block 1711, Lots 1-4, and Block 1712, Lots 1-4), as well as lots outside the conversion area (PSL Section 31, Block 1711, Lots 5-8). All the lots within the conversion area have a CH Future Land Use, while the lots outside the conversion area have a CS Future Land Use. A small scale comprehensive plan amendment has been submitted for all the lots located within the conversion area to change future land use to CS (P16-170 George Callas Holdings Small Scale Comprehensive Plan Amendment). This comprehensive plan amendment has been reviewed by the P&Z Board in November, and is scheduled for its first reading at City Council on November 28, 2016.

IMPACTS AND FINDINGS:

Land Use Consistency: This property is located within the City's conversion area. In 1984, the City adopted a Conversion Manual to address the shortage of land available for both commercial and institutional facilities. With the adoption of the Conversion Manual, the City processed land use amendments to change the land use along designated segments of roadways. Within these conversion areas, single-family lots can be assembled to create larger parcels for suitable development.

The rezoning of this property is consistent with the direction and policies of the City's Comprehensive Plan. In particular, Policy 1.1.4.2 (d) identifies that the City needs to provide more CS (Service Commercial) land uses.

Compliance With Conversion Area Requirements:

Planning Area location per conversion manual: **27**

The property is totally within planning area: **Yes**

Minimum Frontage: **Yes**

Minimum Depth: **Yes**

Does the request isolate lots: **No**

Has a Unity of Title been submitted: **Yes**, a request to unify these lots was submitted to the Legal Department on October 18, 2016.

Buffer required: A landscaped buffer and wall is required: **No**. **Landscaping is required, but since this property abuts against commercial properties to the east, south, and west, a landscape buffer wall will not be required.**

Sewer/Water Service: The City of Port St. Lucie Utility Systems Department will provide water and sewer service to this development.

Environmental: As outlined in the Environmental Assessment report included with the comprehensive plan application (P16-170), the site currently contains a mixture of vegetation. The composition of this vegetation is a mixture of native, exotic, and nuisance species. Since this site is under two (2) acres it will not be required to adhere to the upland mitigation requirements, but the project will be required to adhere to the City's Tree Preservation requirements as outlined in the Landscape Code (Chapter 154), and all exotic vegetation will need to be removed. Therefore, a tree survey will be required to be submitted for the site plan process.

Schools: Since there is no residential component to this project, school concurrency will not apply.

Other: As required by §158.126 (L), an approved site plan is required before any on-site and off-site improvements can be made to ensure compliance with all City rules and regulations.

All properties are to be combined by Unity of Title under one ownership, and a unity of title has been submitted to the legal department for processing.

STAFF RECOMMENDATION:

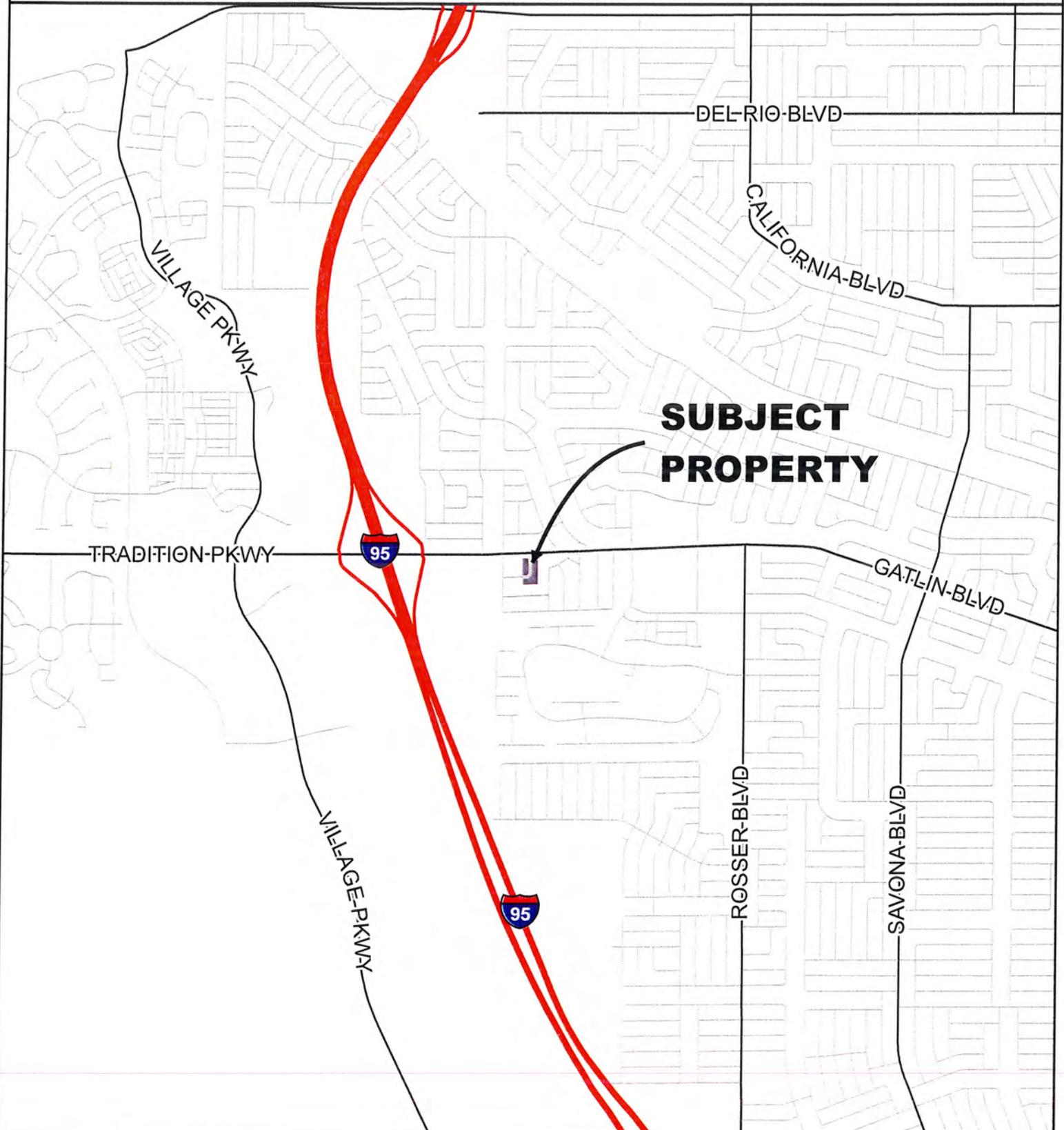
The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION

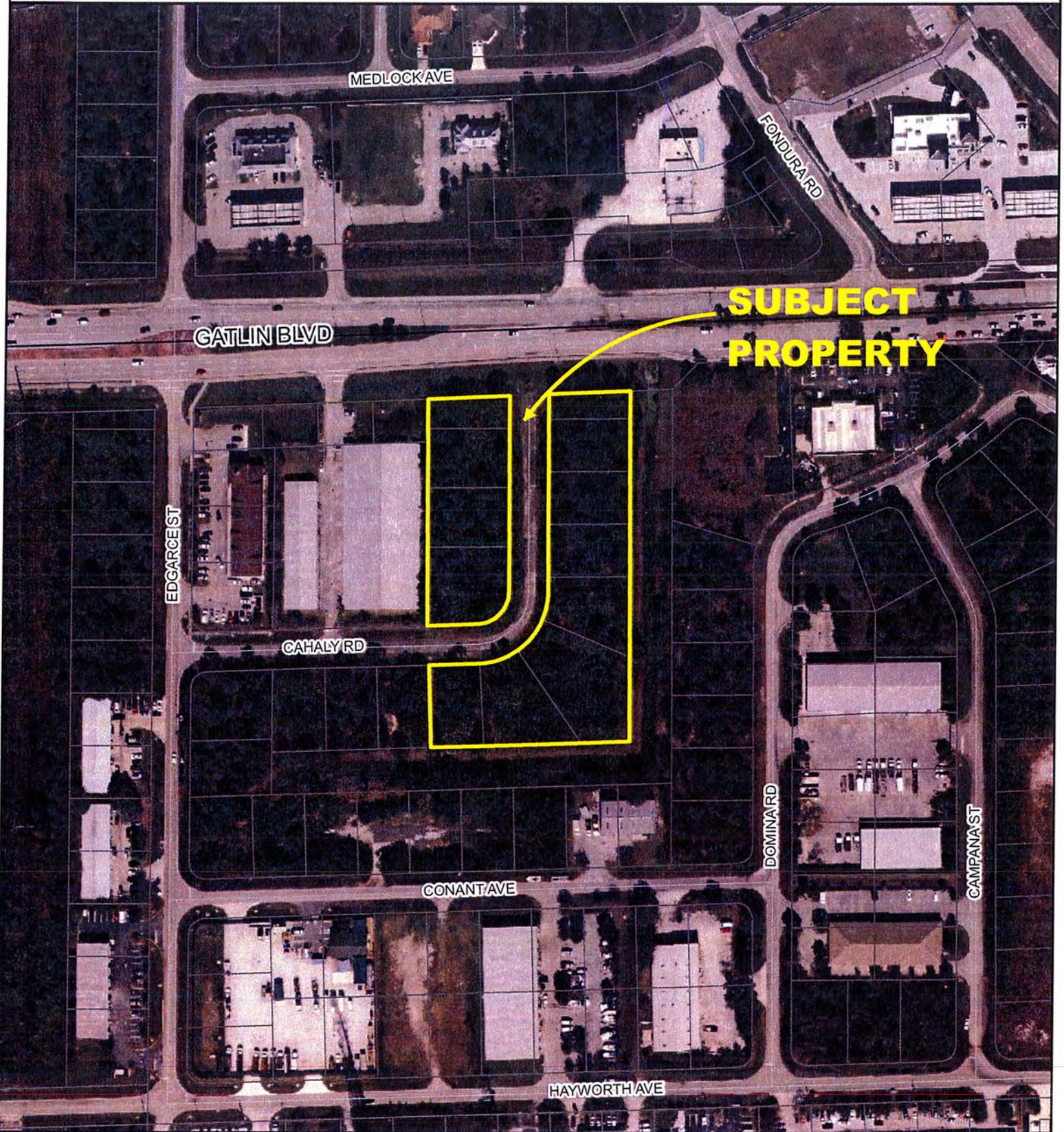


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
GEORGE CALLAS HOLDINGS, LLC
SEC. 31, BLK. 1711, L. 1-8 & BLK. 1712, L. 1-4

DATE:	11/23/2016
APPLICATION NUMBER:	P16-171
USER:	patricias
SCALE:	1 in = 0.5 miles

AERIAL



**SUBJECT
PROPERTY**

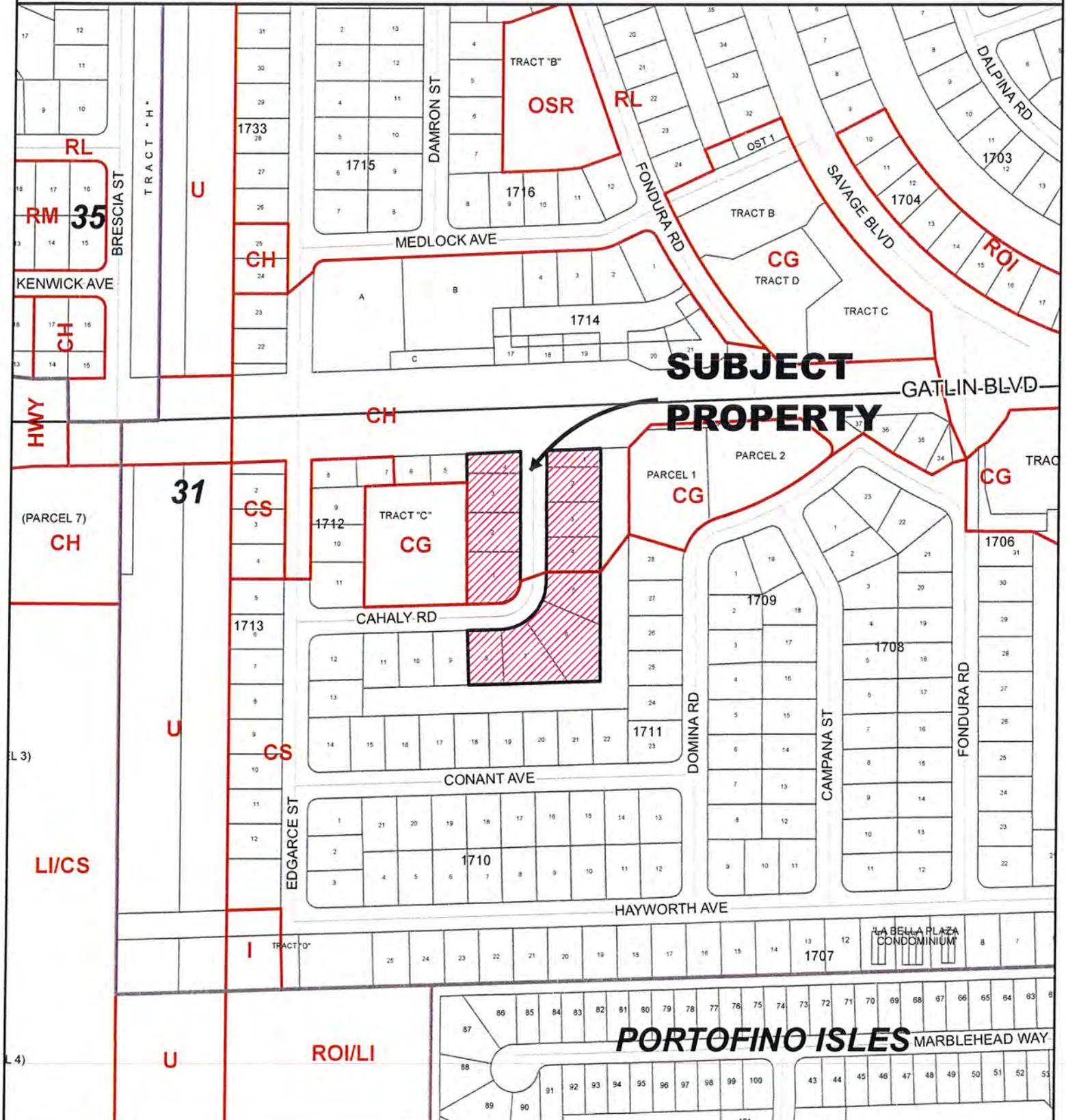


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
GEORGE CALLAS HOLDINGS, LLC
SEC. 31, BLK. 1711, L. 1-8 & BLK. 1712, L. 1-4
AERIAL DATE 2014

DATE: 11/23/2016
APPLICATION NUMBER:
P16-171
USER: patricias
SCALE: 1 in = 200 ft

FUTURE LAND USE

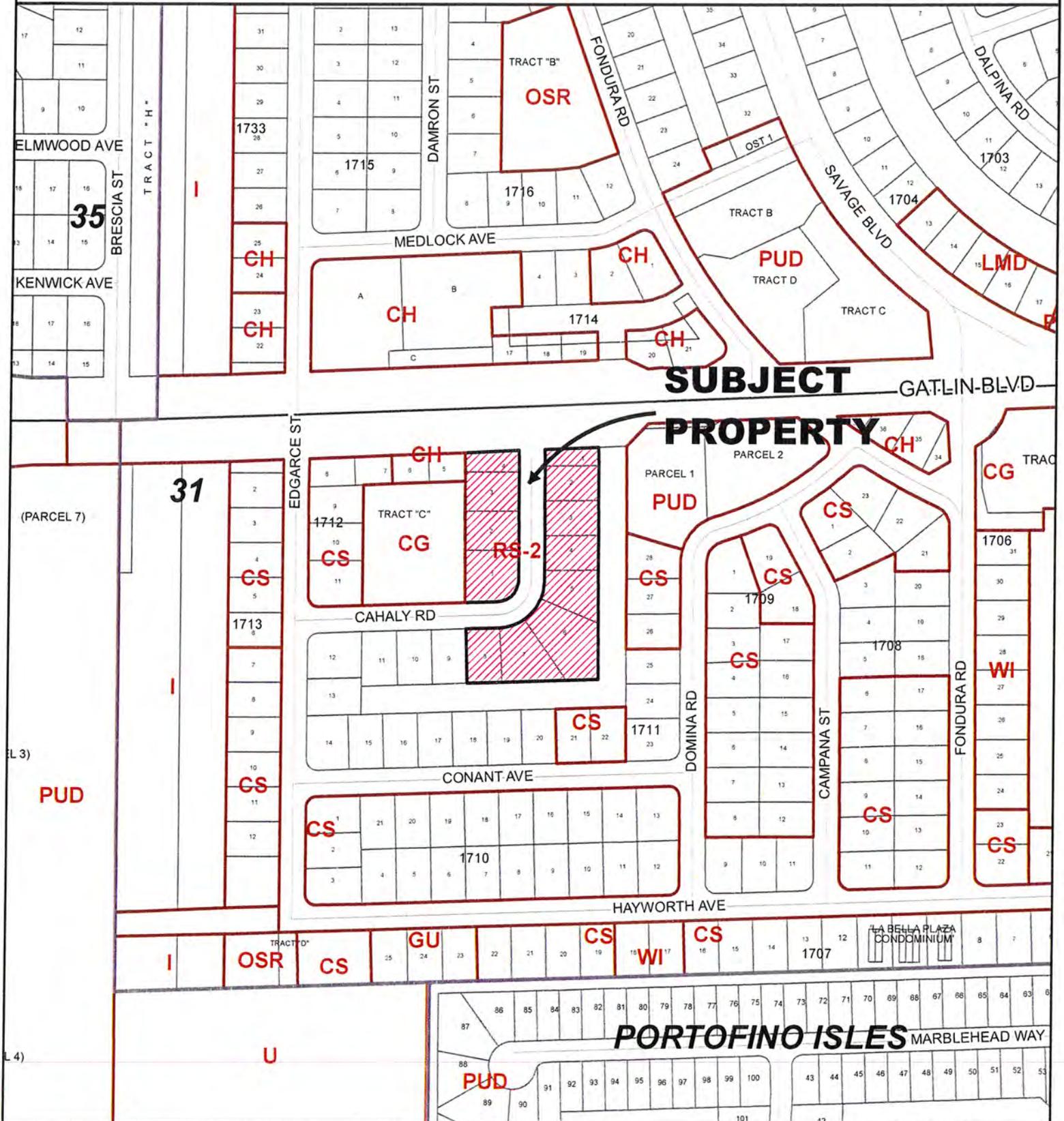


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
GEORGE CALLAS HOLDINGS, LLC
SEC. 31, BLK. 1711, L. 1-8 & BLK. 1712, L. 1-4

DATE:	11/23/2016
APPLICATION NUMBER:	P16-171
USER:	patricias
SCALE:	1 in = 300 ft

EXISTING ZONING

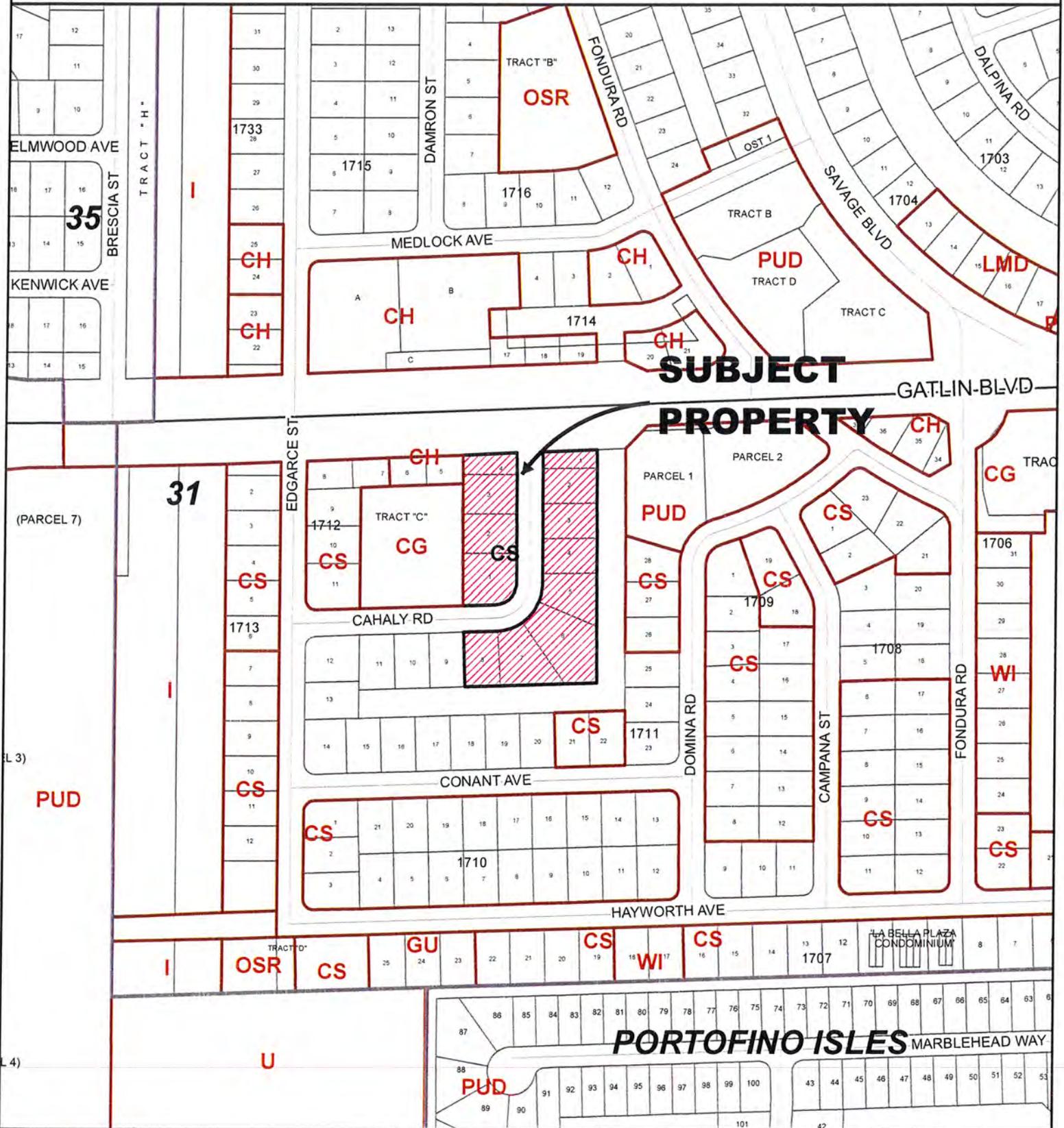


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
GEORGE CALLAS HOLDINGS, LLC
SEC. 31, BLK. 1711, L. 1-8 & BLK. 1712, L. 1-4

DATE:	11/23/2016
APPLICATION NUMBER:	P16-171
USER:	patricias
SCALE:	1 in = 300 ft

PROPOSED ZONING



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONING
GEORGE CALLAS HOLDINGS, LLC
SEC. 31, BLK. 1711, L. 1-8 & BLK. 1712, L. 1-4

DATE: 11/23/2016
APPLICATION NUMBER: P16-171
USER: patricias
SCALE: 1 in = 300 ft

REZONING APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX:(772) 871-5124

FOR OFFICE USE ONLY

Planning Dept. P16-171
Fee (Nonrefundable) \$ 2,232.60
Receipt # 115654

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. All items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: bradcurrie@edc-inc.com

PROPERTY OWNER:

Name: George Callas Holdings, LLC

Address: 3720 NE 209th Terrace, Aventura, FL 33180

Telephone No.: 305-932-7741

FAX No.: _____

RECEIVED

OCT 24 2016

PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE, FL

AGENT OF OWNER (if any)

Name: Bradley J Currie, Engineering Design & Construction, Inc.

Address: 469 NW Prima Vista Blvd., Port St. Lucie, FL 34983

Telephone No.: 772-340-4990

FAX No: N/A

PROPERTY INFORMATION

Legal Description: Lots 1, 2, 3, 4, 5, 6, 7 and 8 Block 1711 and Lots 1, 2, 3 and 4, Block 1712, Section 31
(Include Plat Book and Page)

Parcel I.D. Number: See attached Justification Statement

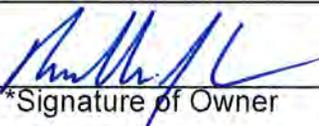
Current Zoning: Single Family Residential

Proposed Zoning: CS

Future Land Use Designation: Current: CH/Proposed: CS Acreage of Property: 2.94 ac +/-

Reason for Rezoning Request: _____

The petitioner wishes to request a zoning change from Single Family Residential to Service Commercial which would allow for the property to be marketed as a commercial site.


*Signature of Owner

Bradley J. Currie
Hand Print Name

10/24/16
Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

H:\PZ\SHARED\APPLCTN\REZAPPL(06/23/11)

Callas Holdings LLC
201 NE 209 Terrace
Aventura FL 33180

AGENT CONSENT FORM

Project Name: Callas CPA, Rezone & Site Plan Approval

Parcel ID: 3420-650-1142-000-0 and 3420-650-1182-000-2

BEFORE ME THIS DAY PERSONALLY APPEARED George Callas WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 26th day of September, 2016, by George Callas (Name of Person Acknowledging) who is personally known to me or who has produced FL Driver License (type of identification) as identification and who did (did not) take an oath

Mariangela Zavala
Notary Signature

Mariangela Zavala
Printed Name of Notary



Mar 5, 2017
My commission expires

George Callas
Owner's Signature

GEORGE CALLAS
Owner's Name

3720 N.E. 209 TERR.
Street Address

AVENTURA FLORIDA 33180
City, State, Zip

305-932-7741
Telephone / Email

RENSKI 41 @ E-MAIL.COM

STEWART TITLE OF MARTIN COUNTY
1111 SE FEDERAL HWY. STE. 128
STUART, FL 34994
2009-10

SPECIAL WARRANTY DEED

RAMCO FORM 05

This Special Warranty Deed Made the 15th day of September A.D. 2009 by
DARYL M. CARTER, as Trustee under lawd trust agreement dated 2-25-02 known as
the CARTER-GATLIN LAND TRUST and Individually
hereinafter called the grantor to
G. CALLAS HOLDINGS, LLC., a Florida Limited Liability Company
whose postoffice address is 3720 NE 209th Terrace
Avonturn, Fl 33180
hereinafter called the grantee:

(Witnesses shall verify the date, names and grades of the parties to this instrument and the true legal representation and names of individuals, and the existence and amount of consideration.)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, recored whereof is hereby acknowledged, hereby grants, bargains, sells, alien, re mites, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, Florida, viz:
PARCEL 1: Lot 1, LESS the North 60.04 feet thereof; and all of Lot 2, Block 1711, PORT ST. LUCIE SECTION THIRTY ONE, according to the Plat thereof, recorded in Plat Book 14, page 22, 22A through 22G, Public Records of St. Lucie County, Florida.

PARCEL 2: Lot 4, LESS the North 60.04 feet thereof, Block 1712, PORT ST. LUCIE SECTION THIRTY ONE, according to the Plat thereof, recorded in Plat Book 14, page 22, 22A through 22G, Public Records of St. Lucie County, Florida.

Grantor certifies that said property is vacant and unimproved.

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in any- wise appertaining

To Have and to Hold, the same in fee simple forever

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple, that the grantor has good right and lawful authority to sell and convey said land, and here- by warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said grantor.

In Witness Whereof, the said grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence

Daryl M. Carter DARYL M. CARTER, as Trustee and (L.S.)
Proctor Hage Individually (L.S.)
Proctor Hage

STATE OF FLORIDA
COUNTY OF ORANGE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared Daryl M. Carter

to me known to be the person described in and who executed the foregoing instrument and has acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 14th day of September A.D. 2009



JOAN M. FISHER
MY COMMISSION # 00 882642
EXPIRES: July 16, 2013
Bonded Budget Notary Services

Joan M. Fisher
Notary Public Joan M. Fisher
My Commission expires: 07/16/2013

The instrument prepared by:
Roberta Walters for
Stewart Title of Martin County
1111 SE Federal Hwy. Ste. 128
Stuart, Fla. 34994

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 29 day of September
20 16, by first party GEORGE J CALLAS
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
in second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE State of FLORIDA
to wit SECTION 31 BL K 1711 LOT 3

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of:

Witness Kellie M Begley
Kellie M Begley
Witness

George J Callas
First Party
George Callas
Second Party

STATE OF FLORIDA
COUNTY OF Miami Dade

On Sept 22 2016 before me, Kellie M Begley
personally appeared George J Callas / George Callas
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Kellie M Begley

Affiant Known Unknown
ID Produced FL DL LIC
(Seal)

CLERK OF FLORIDA
ST. LUCIE COUNTY
THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL

JOSEPH E. SMITH, CLERK
SEP 27 2016



Kellie M. Begley
Notary Public
State of Florida
My Commission Expires 9/22/19
Commission No. FF 903726

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 22 day of Sept 2016
20 16, by first party GEORGE J CALLAS
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
to second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE, State of FLORIDA
to wit SECTION 31 BLK 1711 LOT 4

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written

Signed, sealed and delivered in presence of:

Witness Kellie M Begley
Kellie M Begley
Witness

George J Callas
First Party
George Callas
Second Party

STATE OF : FLORIDA
COUNTY OF : ST. LUCIE

On Sept 22 2016 before me, Kellie M Begley,
personally appeared GEORGE J CALLAS / GEORGE CALLAS
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Kellie M Begley

Affiant Known Unknown
ID Produced FL OR LC
(Seal)

STATE OF FLORIDA
ST. LUCIE COUNTY
CLERK OF THE CIRCUIT COURT
JOSEPH E. SMITH
SEP 27 2016



Kellie M. Begley
Notary Public
State of Florida
My Commission Expires 9/22/19
Commission No. FF 903725

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 23 day of September
20 16 by first party CARMEN H REY
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
to second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE, State of FLORIDA
to wit: SECTION 31 BLK 1711 LOT 5

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of,

Amanda Long-Villanov
Witness

Carmen H Rey
First Party

Amanda Long-Villanov
Witness

G Callas
Second Party

STATE OF : Florida
COUNTY OF : Miami-Dade

On September 23, 2016 before me, Victoria Corte,
personally appeared Carmen H Rey
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Victoria Corte

Affiant Known Unknown
ID Produced _____

(Seal)

STATE OF FLORIDA
SAINT LUCIE COUNTY
WE HEREBY CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL
JOSEPH E. SMITH, CLERK



SEP 27 2016

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 22 day of Sept 2016
20 16, by first party GEORGE J CALLAS
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
in second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE, State of FLORIDA
to wit SECTION 31 BLK 1711 LOTS 6 AND 7

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of

Witness Kellie M Begley
Witness Kellie M Begley

George Callas
First Party
George Callas
Second Party

STATE OF FLORIDA
COUNTY OF MIAMI DADE

On Sept 22, 2016 before me, Kellie M Begley
personally appeared, George Callas / George Callas
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Kellie M Begley

Affiant Known Unknown
ID Produced FL OR Lic
(Seal)

STATE OF FLORIDA
CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY
100 N. W. 10th Street, Suite 100
Vero Beach, Florida 32980
JOSEPH E. SMITH, CLERK



Kellie M. Begley
Notary Public
State of Florida
My Commission Expires 9/22/19
Commission No. FF 903726

SEP 27 2016

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 23 day of September
20 16 by first party CARMEN H REY
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
to second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE State of FLORIDA
to wit: SECTION 31 BLK 1711 LOT 8

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of:

Amanda Rey-Villanar
Witness

Carmen H Rey
First Party

Amanda Rey-Villanar
Witness

G Callas
Second Party

STATE OF Florida
COUNTY OF Miami-Dade

on September 23, 2016 before me, Victoria Corte
personally appeared Carmen H Rey
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Victoria Corte

Affiant Known Unknown
ID Produced

(Seal)

SAINT LUCIE COUNTY
CLERK OF THE CIRCUIT COURT
I HEREBY CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL

Joseph E. Smith
CLERK
SEP 27 2016



QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 22 day of Sept 2016
20 16, by first party GEORGE J CALLAS
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180
to second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FLORIDA 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged.

does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE, State of FLORIDA
to wit SECTION 31 BLK 1712 LOT 1

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of

Witness Kellie M Bergley
Witness Kellie M Bergley

George Callas
First Party
George Callas
Second Party

STATE OF FL
COUNTY OF MIAMI DADE

On Sept 22 2016 before me, Kellie M Bergley,
personally appeared George J Callas / George Callas
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Kellie M Bergley

Affiant Known Unknown
ID Produced FL DL LIC
(Seal)

NOTARY PUBLIC
STATE OF FLORIDA
I HEREBY CERTIFY THAT THE IS A
SIGNED AND RECORDED COPY OF THE
ORIGINAL INSTRUMENT.



Kellie M. Bergley
Notary Public
State of Florida
My Commission Expires 9/22/19
Commission No. FF 803726

SEP 27 2016

QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this 23 day of September
20 16, by first party CARMEN H REY
whose post office address is 3720 NE 209 TERR AVENTURA FL 33180
In second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FL 33180

WITNESSETH, That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUC State of FLORIDA
to wit, SECTION 31 BLK 1712 LOT 2

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written.

Signed, sealed and delivered in presence of.

Armando Rey-Villaneda
Witness

Carmen H Rey
First Party

Armando Rey-Villaneda
Witness

G Callas
Second Party

STATE OF ; Florida
COUNTY OF Miami-Dade

On September 23, 2016 before me, Victoria Corte
personally appeared Carmen H Rey
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.
Signature Victoria Corte

Affiant Known Unknown
ID Produced _____

(Seal)

CLERK OF FLORIDA
SAINTE LUCIE COUNTY
THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL

JOSEPH E. SMITH, CLERK

SEP 27 2016



QUITCLAIM DEED

THIS QUITCLAIM DEED, Executed this ___ day of _____
20 16, by first party GEORGE J CALLAS
whose post office address is 3720 NE 209 TERR AVENTURA FL 33180
to second party G CALLAS HOLDINGS LLC
whose post office address is 3720 NE 209 TERR AVENTURA FL 33180

WITNESSETH That the said first party, for good consideration and for the sum of
\$ 10.00 paid by the said second party, the receipt whereof is hereby
acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the
right, title, interest and claim which the said first party has in and to the following
described parcel of land, and improvements and appurtenances thereto in the County
of SAINT LUCIE, State of FLORIDA,
to wit SECTION 31 BLK 1712 LOT 3

IN WITNESS WHEREOF, The said first party has signed and sealed these presents
the day
and year first above written

Signed, sealed and delivered in presence of

Witness Kellie M Begley
Witness Kellie M Begley

George Callas
First Party
George Callas
Second Party

STATE OF FL
COUNTY OF MIAMI DADE

On Sept 22 2016 before me, Kellie M Begley,
personally appeared George J Callas / George Callas
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to
me
that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument.

WITNESS my hand and official seal
Signature Kellie M Begley

Affiant Known Unknown
ID Produced FL DR CL
(Seal)

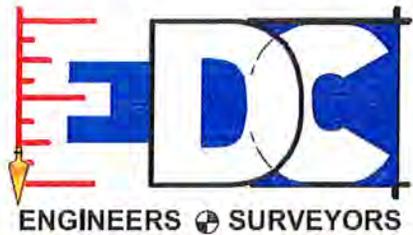
STATE OF FLORIDA
SANTA LUCIE COUNTY
I HEREBY CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL
JOSEPH E. SMITH, CLERK

[Signature]



Kellie M. Begley
Notary Public
State of Florida
My Commission Expires 9/22/
Commission No. FF 903723

SEP 27 2016



RECEIVED
 NOV 02 2016
 PLANNING DEPARTMENT
 CITY OF PORT ST. LUCIE, FL

LETTER OF JUSTIFICATION
 Callas Rezone Application
 October 24, 2016

REQUEST

On behalf of the Petitioner, Engineering, Design, & Construction, Inc. (EDC) is requesting approval of a rezone application for a project to be known as Callas Rezone. The subject properties include ten (10) parcel ID's / 12 lots totaling 2.94 acres +/- as noted in the below table. The petitioner wishes to market these parcels as one site with a zoning designation of Service Commercial (CS). The property is generally located on the south side of SW Gatlin Boulevard. SW Cahaly Road runs north and south between said subject parcels. The petitioner also submitted an application for the approval of a comprehensive plan amendment in September 2016 for Parcel ID's 4-10 noted in the below table. The comprehensive plan amendment is scheduled for the P & Z Public Meeting on November 1, 2016.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located on the south side of SW Gatlin Boulevard. SW Cahaly Road runs north and south between the subject parcels.

The subject property is comprised of approximately 2.94 acres and is currently undeveloped. The property associated with this request are outlined in the below table:

	Parcel ID	Address	Acreage	Lot / Block	Existing Zoning	Proposed Zoning
1	3420-650-1149-000-9	2757 SW Cahaly Road	0.23	8 / 1711	SFR	CS
2	3420-650-1147-000-5	2741 SW Cahaly Road	0.67	6&7 / 1711	SFR	CS
3	3420-650-1146-000-8	2733 SW Cahaly Road	0.26	5 / 1711	SFR	CS
4	3420-650-1145-000-1	2725 SW Cahaly Road	0.23	4 / 1711	SFR	CS
5	3420-650-1144-000-4	2717 SW Cahaly Road	0.23	3 / 1711	SFR	CS
6	3420-650-1179-000-8	2138 SW Cahaly Road	0.32	1 / 1712	SFR	CS
7	3420-650-1180-000-8	2126 SW Cahaly Road	0.26	2 / 1712	SFR	CS
8	3420-650-1181-000-5	2114 SW Cahaly Road	0.26	3 / 1712	SFR	CS
9	3420-650-1142-000-0	2112 SW Gatlin Blvd.	0.34	1&2 / 1711	SFR	CS
10	3420-650-1182-000-2	2102 SW Cahaly Road	0.14	4 / 1712	SFR	CS
			2.94			ac +/-

ENGINEERING DESIGN & CONSTRUCTION, INC
 CIVIL ENGINEERS & SURVEYORS SPECIALIZING IN LAND DEVELOPMENT

FORT PIERCE OFFICE
 1934 Tucker Court, Fort Pierce, FL 34950
 ph:(772) 462-2455 fx:(772) 462-2454

PORT ST. LUCIE OFFICE
 469 NW Prima Vista Blvd, Port St. Lucie, FL 34983
 ph:(772) 340-4990 fx:(772) 340-7996

The subject properties have an existing zoning designation of Single Family Residential. The applicant is requesting a change from the existing zoning to Service Commercial (CS).

In addition to the above applications, the petitioners is proposing the abandonment of a portion of SW Cahaly Road which currently runs through the subject properties and dead ends prior to connection with Gatlin Boulevard.

To the north of the subject property lies the 200 foot Right of Way for SW Gatlin Boulevard, a City roadway. North of SW Gatlin Boulevard lies developed commercial parcels with a current use of gasoline sales and oil changing quick lube. These parcels have a future land use designation of Commercial Highway and an underlying zoning category of Single Family Residential.

To the west of the subject property is a parcel owned by T & P Investment, LLC. The property is currently developed as a self-storage facility. The future land use designation of this property is Commercial General and it is located in the General Commercial zoning district.

West of the southernmost subject parcels lies vacant commercial parcels with a future land use designation of Commercial Service and an underlying zoning category of Single Family Residential.

To the south of the subject property is a 65 foot drainage Right of Way owned by the City of Port St. Lucie followed by undeveloped properties. The southern properties have a future land use designation of Commercial Service and it is located in the Single Family Residential zoning district.

To the east of the subject property is a 65 foot drainage Right of Way owned by the City of Port St. Lucie followed by vacant commercial parcels. The northeastern most parcel has a future land use designation of Commercial General with an underlying zoning designation of Planned Unit Development. The balance of the eastern parcels have a future land use designation of Commercial Service and an underlying zoning designation of Service Commercial.

Based on the above and attached information, the applicant respectfully request approval of the proposed applications.

S:_Project Files\16-136 - Newman - Gatlin Self Storage\EDC Documents\Submittal Documents\Justification Statement\2016-10-24_Callas_Rezone_Justification_Statement_15-132.doc

ORDINANCE 16-

AN ORDINANCE TO REZONE 1.78 ACRES OF PROPERTY LOCATED ON THE SOUTH SIDE OF GATLIN BOULEVARD, BETWEEN EDGARCE STREET AND FONDURA ROAD FROM RS-S (SINGLE FAMILY RESIDENTIAL) TO CS (SERVICE COMMERCIAL) FOR A PROJECT KNOWN AS GEORGE CALLAS HOLDINGS, P16-171; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, George Callas Holdings, LLC, seeks to rezone 1.78 acres of property located on the south side of Gatlin Boulevard, between Edgarce Street and Fondura Road and within the City of Port St. Lucie, from the zoning designation of RS-2 (Single Family Residential) to CS (Service Commercial); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board held a public hearing on the November 1, 2016 to consider the rezoning application (P16-171), notice of said hearing to adjoining property owners for a radius of seven-hundred and fifty (750) feet having been given and advertising of public hearing having been made; and

WHEREAS, the City Council held a public hearing on the December 12, 2016 to consider the rezoning application (P16-171), advertising of the public hearing having been made; and

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1: That the property described as Port St. Lucie Section 31, Block 1711, Lots 1-4, and Block 1712, Lots 1-4, Port St. Lucie be rezoned from the Zoning Classification of RS-2 (Single Family Residential) to CS (Service Commercial).

Section 2: That this Ordinance shall become effective ten (10) days after its final adoption.

ORDINANCE 16-

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida,
this _____ day of _____ 2016.

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

BY: _____
O. Reginald Osenton, City Attorney



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING AND ZONING BOARD - MEETING OF DECEMBER 6, 2016

FROM: JOHN FINIZIO, PLANNER *JF*

RE: ARCCO OF ST. LUCIE PUD AND CONCEPT PLAN
 PUD AMENDMENT
 PROJECT NO. P16-138

DATE: NOVEMBER 22, 2016

PROPOSED AMENDMENT: The Arcco PUD was last amended in 2015, to expand the permitted commercial uses. Since the site also has a LI (Light Industrial) Future Land Use, the PUD continues to identify industrial uses as well. This is the third amendment to the Arcco of St. Lucie PUD document. This request will not alter any of the permitted or special exception uses in the PUD document. The proposed changes are as follows:

1. Include a parking ratio of 1 space for every 250 square feet for recreational facilities.
2. Update the concept plan to re-design the parking area to provide 119 spaces.

APPLICANT: McCarty & Associates. The authorization letter is attached to the staff report.

OWNER: Arcco of St. Lucie, Inc.

LOCATION: 440 NW Peacock Blvd., which is located on the west side of Peacock Blvd., between Enterprise Dr. and Stadium Dr.

LEGAL DESCRIPTION: SLW Plat 1, Block 3, Lot I-2.

SIZE: Approximately 2.49 acres (108,725 square feet).

EXISTING ZONING: PUD (ARCCO of St. Lucie West Planned Unit Development).

EXISTING USE: This site is developed and contains a 29,675 square foot one story multiuse building. This building is currently vacant.

SURROUNDING USES:

Direction	Future Land Use	Zoning	Existing Use
N	LI/CS	CS	Vacant
S	LI/OSR/I	WI	Existing Self Storage Facility
E	OSR	GU	Existing Sports Complex
W	LI/OSR/I	WI	Existing Industrial Buildings

REQUESTED ZONING: PUD (Planned Unit Development).

FUTURE LAND USE: LI (Light Industrial)/OSR (Open Space Recreation)/I (Institution).

IMPACTS AND FINDINGS:

Land Use Consistency: The proposed amendment is consistent with the direction and policies of the City's Comprehensive Plan; in particular, Objective 1.1.4 which states that "future growth, development and redevelopment should be directed to appropriate areas as depicted on the Future Land Use Map. The land use map should be consistent with sound planning principals including the prevention of sprawl; energy efficiency, natural limitations; the goals, objectives, and policies contained within the comprehensive plan; and the desired community character, and to ensure availability of land for future demand and utility facilities."

Sewer/Water Service: St. Lucie West Utilities will provide the utilities for this site. This site is already developed, and all utilities are currently in place.

Transportation: As identified on the approved site plan, access to this site is off of Peacock Blvd. The City's Engineering Department has reviewed and approved traffic data for this site as part of the previous PUD and site plan applications. If applicable, any necessary improvements shall be determined during any subsequent development review processes.

Environmental: As previously noted, this site has already been developed, and all environmental issues were addressed as part of the site plan development process. This PUD amendment will not be making any changes to the existing layout of the site.

Other: The approved site plan for this property (P06-365 ABC Supply) identifies a total of 64 parking spaces. However, the applicant has already submitted a site plan amendment (P16-182 Arcco of St. Lucie Site Plan Amendment) to add the 55 parking

spaces, and landscape islands shown on the PUD concept plan. This application is currently under review.

RELATED PROJECTS:

P14-163 Arcco of SLW PUD Amendment No. 2. This application revised the permitted uses in the PUD to include more commercial uses to provide more flexibility. This application was approved by City Council on February 9, 2016.

P06-181 ABC Supply Site Plan Amendment. This application made modifications to the north side of the building and parking area to allow warehousing and wholesale distribution of building materials. This application was approved by City Council on April 28, 2006.

P06-027 Arcco @ SLW/Elks Lodge PUD Amendment. This application revised the uses permitted in the northern portion of the building to allow for more industrial uses. This application was approved by City Council on May 22, 2006.

P02-365 Thunderskate @SLW Site Plan Amendment. This application added a handicap accessible entrance to the building. This was an administrative amendment approved by the Planning and Zoning Department on December 13, 2002.

P02-051 SLW Elks Lodge/Thunderskate PUD Rezoning Application. This was a PUD rezoning application to combine private recreational uses and a club/lodge facilities. This application was approved by City Council on May 13, 2002.

P96-088 Treasure Coast Sports (Thunderskate) Site Plan Application. This application was for the construction of a 29,675 square foot indoor roller skating rink with an incidental snack bar. This application was approved by City Council on June 24, 1996.

P96-073 Drossos Rezoning Application. This application was to rezone 2.49 acres from WI (Warehouse Industrial) to FI (Flexible Industrial). This application was approved by City Council on May 13, 1996.

STAFF RECOMMENDATION:

The Planning and Zoning Department staff finds the request to be consistent with the direction and intent of the future land use map and policies of the City's Comprehensive Plan and recommends approval.

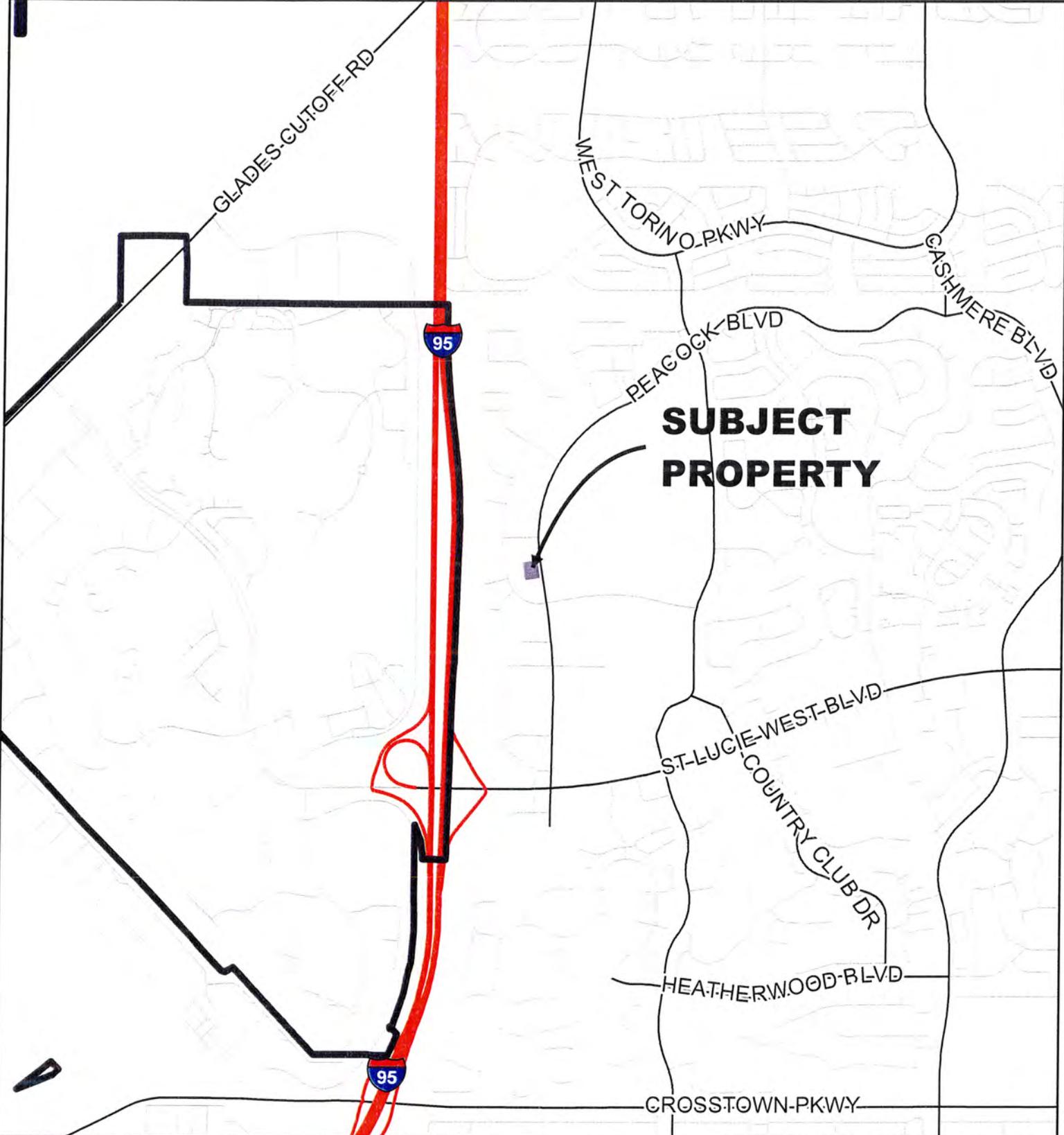
The Site Plan Review Committee reviewed the PUD document and concept plan on September 14, 2016 and recommended approval.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PUD AMENDMENT
ARCCO OF ST. LUCIE, INC.
SLW PLAT NO. 1, BLOCK 3, LOT I-2

DATE:	8/31/2016
APPLICATION NUMBER:	P16-138
USER:	patricias
SCALE:	1 in = 0.5 miles

AERIAL



**SUBJECT
PROPERTY**

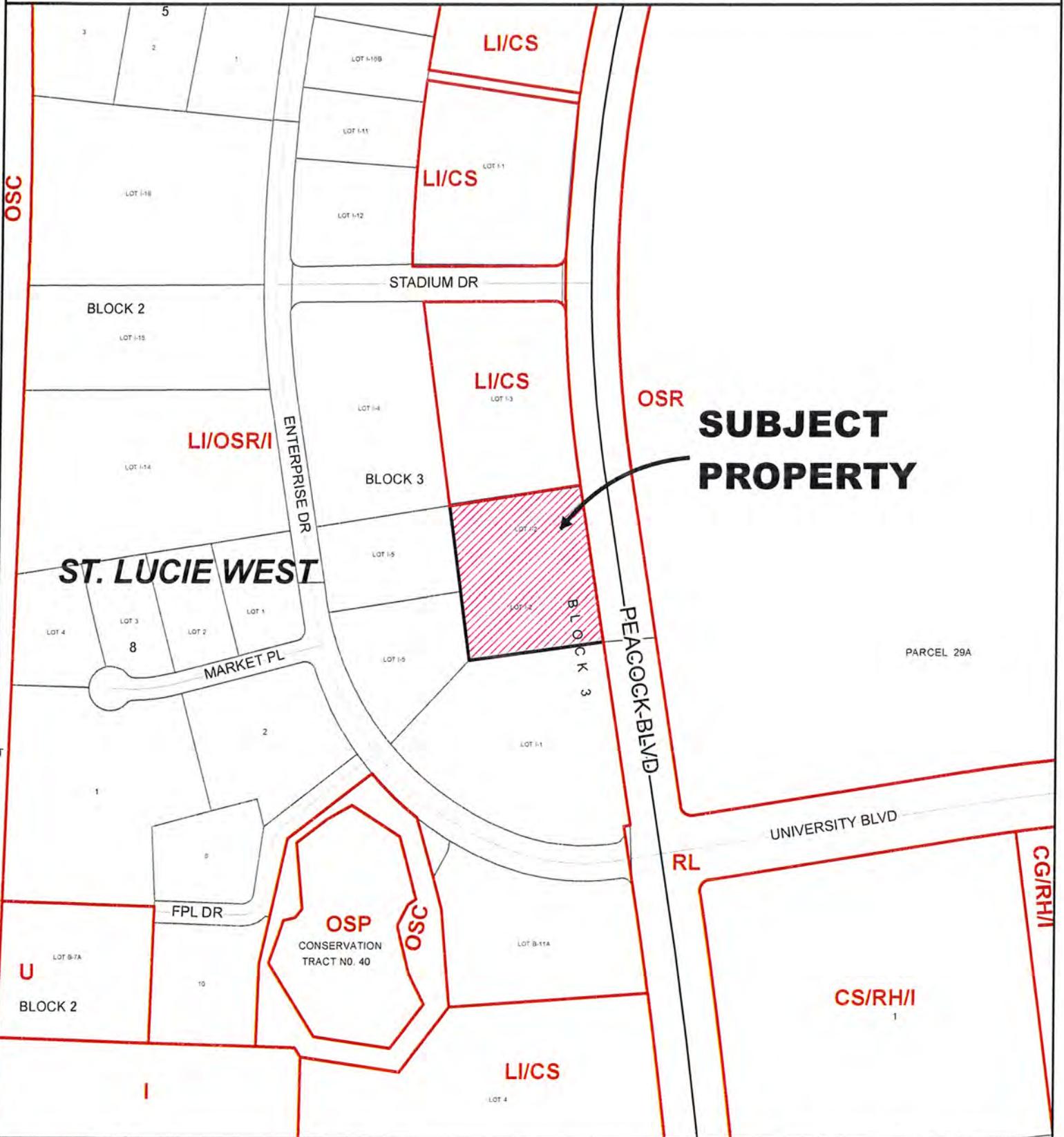


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PUD AMENDMENT
ARCCO OF ST. LUCIE, INC.
SLW PLAT NO. 1, BLOCK 3, LOT I-2
AERIAL DATE 2014

DATE:	8/31/2016
APPLICATION NUMBER:	P16-138
USER:	patricias
SCALE:	1 in = 150 ft

FUTURE LAND USE

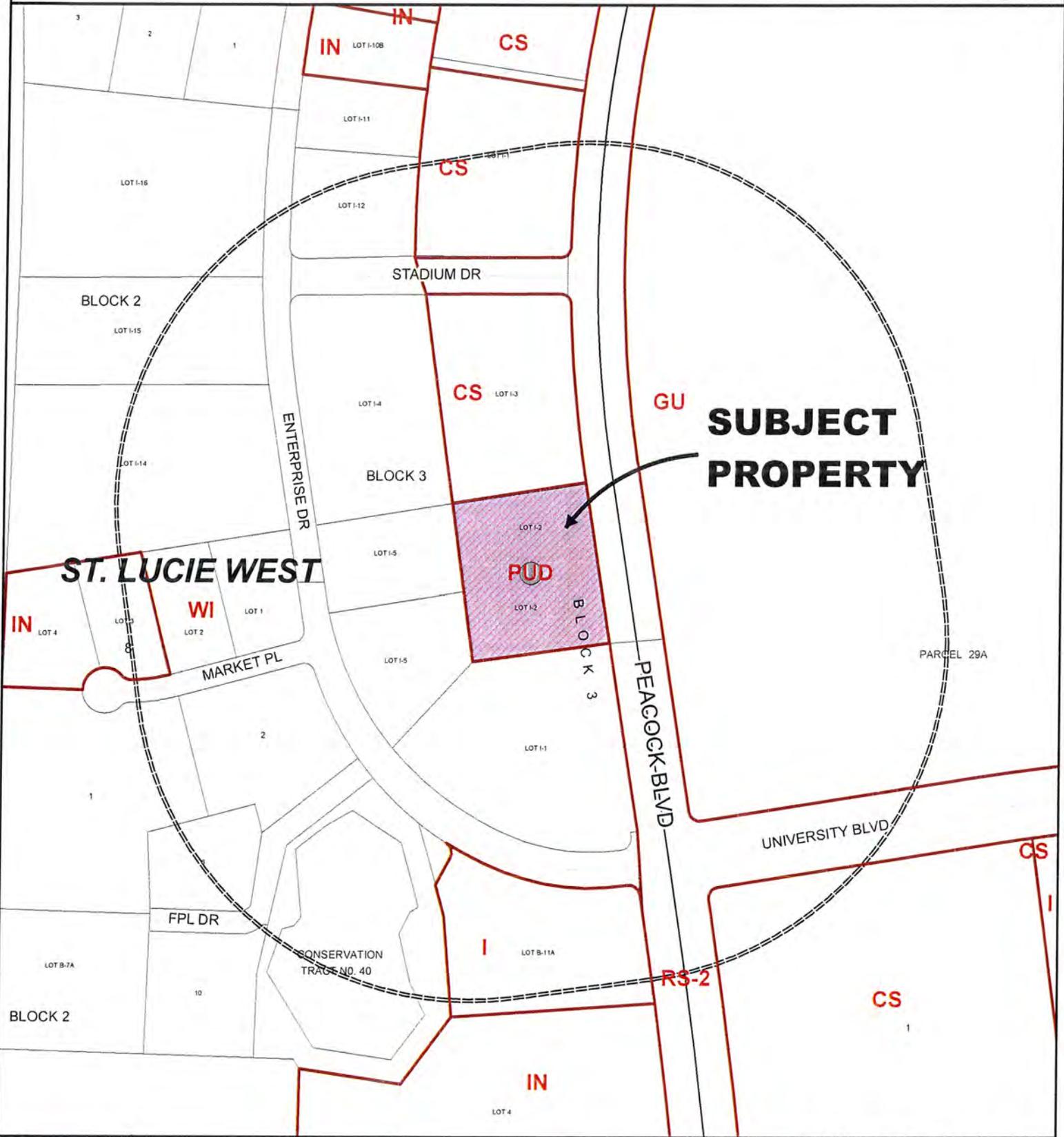


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PUD AMENDMENT
ARCCO OF ST. LUCIE, INC.
SLW PLAT NO. 1, BLOCK 3, LOT I-2

DATE:	8/31/2016
APPLICATION NUMBER:	P16-138
USER:	patricias
SCALE:	1 in = 300 ft

EXISTING ZONING



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

PUD AMENDMENT
ARCCO OF ST. LUCIE, INC.
SLW PLAT NO. 1, BLOCK 3, LOT I-2

DATE:	8/31/2016
APPLICATION NUMBER:	P16-138
USER:	patricias
SCALE:	1 in = 292 ft

PUD AMENDMENT APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772)871-5212 FAX:(772)871-5124

FOR OFFICE USE ONLY

Planning Dept. P14-138
Fee (Nonrefundable)\$ 2,030.00
Receipt # 108089

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie." Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board meeting. **All items on this application should be addressed, otherwise it cannot be processed.** Attach proof of ownership: two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: Mike@McCartylandplanning.com

PROPERTY OWNER:

Name: Arcco of St. Lucie Inc
Address: PO Box 12909
Telephone No. _____ FAX No. _____

AGENT OF OWNER (if any)

Name: McCarty & Associates Land Planning and Design LLC
Address: 73 SW Flagler Ave Stuart FL 34994
Telephone No. 772-341-9322 FAX No. _____

RECEIVED
AUG 17 2016

PROPERTY INFORMATION

Legal Description: ST LUCIE WEST-PLAT 1- BLK 3 LOT 1-2 (OR 2214-228; 2227-1455)
(Include Plat Book and Page) PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE, FL
Parcel I.D. Number: 3323-500-0024-000-0
Current Zoning: PUD Proposed Zoning: PUD
Future Land Use Designation: LI/OSR/I Acreage of Property: 2.5

Reason for amendment request:

The applicant is requesting a parking rate adjustment for a recreational facility use from 1 space /200 sqft to 1 space /250 sqft. The PUD amendment also includes a site plan proposing improvements to the parking lot configuration to provide a total of 119 spaces.

- 1) Applicant must list on the first page of the attached amendment all proposed changes with corresponding page number(s).
- 2) All proposed additions must be underlined and deleted text must have a strikethrough.
- 3) Where there are conflicts between the requirements of the general provisions of this chapter or other applicable codes of the city and the requirements established by official action upon a specific PUD, the latter requirements shall govern.

Michael L. Adams
Signature of Owner

Michael A. Adams
Hand Print Name

8/15/16
Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.



McCarty & Associates
Land Planning and Design LLC
 www.McCartyLandPlanning.com
 73 SW Flagler Ave
 Stuart Fl 34994
 772-341-9322

Agent Authorization

To Whom It May Concern:

This letter authorizes McCarty & Associates Land Planning and Design LLC, to act as agent and represent our interests for the purpose of obtaining permits and approvals from state and local government agencies for the project known as **Arcco of St. Lucie** located at: **440 NW Peacock Blvd.**

Michael Adams-Registered Agent

By: Michael L. Adams

Its: Pres

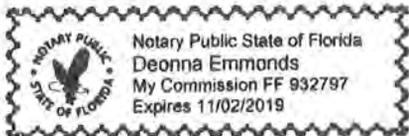
Printed Name: Michael L. Adams

Date: 8/15/16

STATE OF: Florida
 COUNTY OF: St Lucie Co.

I HEREBY CERTIFY that for foregoing instrument was acknowledged before me this 15 day of August, 2016, by Michael L. Adams, owner of above referenced property who () has produced _____ as identification or () is personally known to me.

{NOTARY SEAL}



Notary Public

Deonna Emmonds

Name Printed: Deonna Emmonds

My commission expires: 11-02-2019

EXHIBIT 6

EXHIBIT 6

BINDING P.U.D. AGREEMENT

CITY OF PORT ST. LUCIE BINDING PLANNED UNIT DEVELOPMENT (PUD) AGREEMENT

Project Name: ARCCO of ST. LUCIE

Legal Description: See Exhibit 5

I HEREBY DECLARE THAT ARCCO of ST. LUCIE, as described in Exhibit 5,

is under unified control and hereby agree to proceed with the proposed PUD development according to the provisions of the City of Port St. Lucie zoning regulations and conditions as may be attached to the zoning of the land to PUD. In addition, I will provide agreements, contracts, deed restrictions and such relevant securities as may be required by the City for completion of the development according to the design parameters approved at the time of rezoning to PUD, and also agree to provide continuing operation and maintenance of such areas, functions, and facilities as are not to be provided, operated or maintained at public expense. In addition, I agree to bind all successors in title to any commitments made hereunder in this paragraph.

Sworn to and subscribed before me
this 2nd Day of December 2014.

Stacey Schaefer

Notary Public State of Florida at Large

ARCCO of St. Lucie, Inc.
a Florida Corporation

By: *Michael L. Adams*

Michael L. Adams, President

My Commission expires:



Stacey Schaefer
COMMISSION # FF049901
EXPIRES: AUG. 29, 2017
www.AARONNOTARY.com

.....
* FOR STAFF USE ONLY *

Planning Dept No: _____

Ordinance Number: _____

Date Received: _____

Date Checked: _____

EXHIBIT 5

This Instrument Prepared By and Return to:
FRANK H. FEE, III, ESQ. of
FEE, KOBLEGARD & DeROSS
401 So. Indian River Dr.
Fort Pierce, FL 34950

Property Appraiser's Parcel Identification (Folio Number):
3323-500-0024-000/0

EDWIN M. FRY, Jr., CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY
FILE # 2612380 04/28/2005 at 03:13 PM
OR BOOK 2227 PAGE 1455 - 1456 Doc Type: CDEED
RECORDING: \$18.50
D DOC STAMP COLLECTION: \$0.70

This CORRECTIVE WARRANTY DEED is recorded in order to correct a scrivener's misinterpretation of Lot number as appears in WARRANTY DEED of even date herewith recorded in OR Book 2214, page 228, Public Records of St. Lucie County, Florida.

CORRECTIVE WARRANTY DEED

THIS WARRANTY DEED, made the 8 day of April, 2005, by **WEST ST. LUCIE ELKS LODGE #2823, INC.**, a Florida non-profit corporation, whose post office address is 440 NW Peacock Blvd., Port St. Lucie, FL, 34986, hereinafter called the Grantor, to **ARCCO OF ST. LUCIE, INC.**, a Florida corporation, whose post office address is Post Office Box 12909, Fort Pierce, FL, 34979-2909, hereinafter called the Grantee.

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to the instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee all that certain land, situate in St. Lucie County, Florida, viz:

Lot I-2, Block 3, ST. LUCIE WEST PLAT 1, according to the map or plat thereof as recorded in Plat Book 26, Page 8, Public Records of St. Lucie County, Florida.

SUBJECT TO reservations, restrictions and rights-of-way of Public Record, together with taxes subsequent to December 31, 2004, provided, however, that this reference shall not serve to reimpose any of the same.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of

all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

WEST ST. LUCIE ELKS LODGE #2823, INC., a Florida non-profit corporation

Lisa L. Bolton
Witness Signature
Lisa L. Bolton

Lisa L. Bolton
Printed Name

FRANK H. FEENEY
Witness Signature

FRANK H. FEENEY
Printed Name

By: Clifford L. Brackett
CLIFFORD L. BRACKETT,
Chairman of the Board of Trustees

By: Kathleen A. Heinlein
KATHLEEN A. HEINLEIN,
Exalted Ruler

Attest: Carol Heintz
CAROL HEINTZ, Secretary

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Clifford L. Brackett, Kathleen A. Heinlein, and Carol Heintz, as Chairman of the Board of Trustees, Exalted Ruler, and Secretary, respectively, of WEST ST. LUCIE ELKS LODGE #2823, INC., a Florida non-profit corporation, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same on behalf of the company, and an oath was not taken. (Check one:) Said person(s) is/are personally known to me. Said person(s) provided the following type of identification: _____

Witness my hand and official seal in the County and State last aforesaid this 8th day of April, 2005.

NOTARY RUBBER STAMP SEAL



Lisa L. Bolton
Notary Signature
Lisa L. Bolton
Printed Notary Name

ORDINANCE 17-

AN ORDINANCE PROVIDING FOR THE THIRD AMENDMENT OF THE PLANNED UNIT DEVELOPMENT DOCUMENT AND CONCEPTUAL DEVELOPMENT PLAN FOR ARCCO OF SLW (FKA ARCCO OF SLW/ELKS LODGE) P16-138 LOCATED IN A PLANNED UNIT DEVELOPMENT DISTRICT; PROVIDING AN EFFECTIVE DATE.

WHEREAS, by Ordinance 02-37, City of Port St. Lucie, the City of Port St. Lucie City Council approved a Planned Unit Development Document and conceptual development plan for SLW Elks Lodge P02-051, a development located in a Planned Unit Development Zoning District, and

WHEREAS, by Ordinance 06-44, City of Port St. Lucie, the City of Port St. Lucie City Council approved an amendment to the Planned Unit Development Document and Conceptual Development Plan for Arcco of St. Lucie West/Elks Lodge P06-027, and

WHEREAS, by Ordinance 15-04, City of Port St. Lucie, the City of Port St. Lucie City Council approved an amendment to the Planned Unit Development Document and Conceptual Development Plan for Arcco of St. Lucie West P14-163, and

WHEREAS, the proposed changes to the Planned Unit Development Document and Conceptual Development Plan are consistent with Sections 158.170, et seq., Port St. Lucie City Code.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1. That the Planned Unit Development Document and Conceptual Development Plan for Arcco of SLW P14-163 , as approved by Ordinances 02-37, 06-44, and 15-04 City of

ORDINANCE 17-

Port St. Lucie, is amended as reflected in the Planned Unit Development Document labeled Exhibit "A" and attached hereto.

Section 2. That the provisions of Ordinances 02-37, 06-44, and 15-04 City of Port St. Lucie, not inconsistent with the provisions of Section 1 herein shall remain in full force and effect.

Section 3. This Ordinance shall become effective ten (10) days after its final adoption.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this _____ day of _____, 2017.

CITY COUNCIL
CITY OF PORT ST. LUCIE

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM: _____
O. Reginald Osenton, City Attorney

Presented to:
City of Port St Lucie Planning & Zoning Department
121 SW Port St Luice Boulevard
Port St Lucie, Florida 34984

P.U.D. APPLICATION

For

P. U. D. REZONING

For

ARCCO of ST. LUCIE

2.496 Acres

For

ARCCO OF ST. LUCIE, INC.
P.O. Box 12909
Ft. Pierce, Florida 34979
(772) 461-6321

Prepared by:
McCarty & Associates Land Planning and Design LLC
73 SW Flagler Ave, Stuart FL 34994
(772) 341-9322

December 2014-August 17, 2016

CITY OF PORT ST. LUCIE PROJECT No. ~~P14-163~~ P16-138

EXHIBIT "A"

**ARCCO of ST. LUCIE
AMENDMENT SHEET**

1. Amendment No. 1 — February 2006

- Revised the use of the north portion of the existing building currently used as a skating facility to allow for Industrial Use. The intended industrial use will be for warehousing and wholesale distribution of aluminum related products to the construction trade industry.

2. Amendment No. 2 – December 2014

- Revised the permitted uses of the existing building to allow certain uses currently allowed in the City of Port St Lucie General Commercial Zoning District (CG) (158.124).

3. Amendment No. 3-August 2016

- Revise the site plan to re-design the parking area to provide 119 spaces and to request a parking rate adjustment of 1/250 for "recreation facility". The tenant will occupy the entire building and operate a recreational facility open to the public.

LIST OF EXHIBITS

- | | |
|-----------------------------|---|
| Exhibit 1 | Application for P.U.D. <u>Amendment and</u> Concept Plan Approval |
| Exhibit 2 | P.U.D. Amendment Checklist |
| Exhibit 3 | Letter of Unified Control |
| Exhibit 4 | General Standards for District Establishment (158.172) |
| Exhibit 5 | Legal Description /Special Warranty Deed |
| Exhibit 6 | Binding PUD Agreement |
| Exhibit 7 | Location Maps, Aerial Map, Legal Description, Zoning Map,
Future Land Use Map, |
| Exhibit 8 | Boundary Survey |
| Exhibit 9 | PUD Amendment Concept Plan |

PUD AMENDMENT APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772)871-5212 FAX:(772)871-5124

FOR OFFICE USE ONLY

Planning Dept. _____
Fee (Nonrefundable)\$ _____
Receipt # _____

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie." Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board meeting. All items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: Mike@McCartylandplanning.com

PROPERTY OWNER:

Name: Arcco of St. Lucie Inc
Address: PO Box 12909
Telephone No. _____ FAX No. _____

AGENT OF OWNER (if any)

Name: McCarty & Associates Land Planning and Design LLC
Address: 73 SW Flagler Ave Stuart FL 34994
Telephone No. 772-341-9322 FAX No. _____

PROPERTY INFORMATION

Legal Description: ST LUCIE WEST-PLAT 1- BLK 3 LOT 1-2 (OR 2214-228; 2227-1455)
(Include Plat Book and Page)
Parcel I.D. Number: 3323-500-0024-000-0
Current Zoning: PUD Proposed Zoning: PUD
Future Land Use Designation: L1/OSR/1 Acreage of Property: 2.5

Reason for amendment request:

The applicant is requesting a parking rate adjustment for a recreational facility use from 1 space/200 sqft to 1 space/250 sqft. The PUD amendment also includes a site plan proposing improvements to the parking lot configuration to provide a total of 119 spaces.

- 1) Applicant must list on the first page of the attached amendment all proposed changes with corresponding page number(s).
- 2) All proposed additions must be underlined and deleted text must have a strikethrough.
- 3) Where there are conflicts between the requirements of the general provisions of this chapter or other applicable codes of the city and the requirements established by official action upon a specific PUD, the latter requirements shall govern.

Michael H. Adams
Signature of Owner

Michael H. Adams
Hand Print Name

5/15/16
Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

EXHIBIT 2

P.U.D. APPLICATION CHECKLIST (158.170)

1. A statement of unified control for the entire area within the proposed P.U.D. is enclosed as Exhibit 3.
2. The requested PUD amendment proposes to reconfigure the parking area to provide for 119 parking spaces, creation of parking islands, and removal of loading docks. The proposed tenant of the space is Circus Trix which is classified as "recreational facility" use. The applicant is requesting a parking rate adjustment to the PUD to allow a parking rate of 1 space /250 sqft as opposed to the 1 space /200 sqft required as per the City of PSL Land Development Regulations.
3. ~~The development plan for the building footprint will remain as currently constructed. The existing development, SLW Elks Lodge/Thunderskate was approved by the City of Port St. Lucie on April 22, 2002 under City Project No. P02-51. Only internal changes to the Roller Rink portion of the project are contemplated to accommodate the warehouse and distribution facility use. Only internal changes to the building may be implemented to accommodate specific user requirements within the allowed zoning.~~ The requested PUD amendment proposes to reconfigure the parking area to provide for 119 parking spaces, creation of parking islands, and removal of loading docks. Refer to the attached PUD Amendment Concept Plan.
4. Please see Exhibit 4 for the General Standards established for this Planned Unit Development. The maximum building heights, minimum setbacks and other site data will not be modified from the currently constructed facility. Any structure greater than 35 feet in height shall be required to maintain a setback from the property line of such PUD of one hundred (100) percent of the building height.
5. This development is within the corporate limits of the City of Port St. Lucie within underlying land uses to support the intended uses.
6. ~~The proposed development will result in a traffic generation decrease to the change in use from the roller rink to a warehouse/wholesale distribution facility as demonstrated below. No off site transportation improvements are warranted.~~

Existing Use: Roller Rink (ITE Code 465 Skating Rink)

PM Peak Hour: $2.36 \text{ vph}/1,000\text{sf} \times 22,256 \text{ sf} = 52.5 \text{ vph}$

Proposed Use: Warehouse (ITE Code 150 Warehouse)

PM peak Hour: $0.47 \text{ vph}/1,000 \text{ sf} \times 22,256 \text{ sf} = 10.5 \text{ vph}$

7. The owner agrees to voluntarily participate with a fair share contribution for the Peacock Boulevard Special Assessment District should the district be formed by the City.

ARCCO of ST. LUCIE/SLW Elks Lodge

EXHIBIT 3

February 1, 2006

Ms. Cheryl Friend, AICP
Director of Planning and
Zoning City of Port St. Lucie
121 S.E. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

**RE: ~~ARCCO of ST. LUCIE/SLW Elks Lodge — Parcel ID No. 3323-500-0024-
000/0 PUD Rezoning Application~~**

Dear Ms. Friend:

~~This letter is submitted as our Letter of Unified Control in compliance with the City of Port St. Lucie Zoning Regulations. ARCCO of ST. LUCIE INC. is the owner of record of the subject property, pursuant to the Special Warranty Deed dated April 8, 2005 and copies of which are attached to this application.~~

~~Should you have any questions regarding this information, please do not hesitate to contact me. Sincerely,~~

~~—ARCCO of ST. LUCIE,~~

~~Peter Harrison
Vice President~~

ARCCO of ST. LUCIE

EXHIBIT 3

Ms. Patricia A. Tobin, AICP
Director of Planning and Zoning
City of Port St. Lucie
121 S.E. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984

RE: ARCCO of ST. LUCIE — Parcel ID No. 3323-500-0024-000/0
PUD Rezoning Application

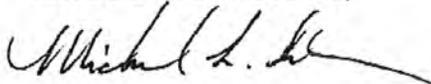
Dear Ms. Tobin

This letter is submitted as our Letter of Unified Control in compliance with the City of Port St. Lucie Zoning Regulations. ARCCO of ST. LUCIE INC. is the owner of record of the subject property, pursuant to the Special Warranty Deed dated April 8, 2005 and copies of which are attached to this application.

Should you have any questions regarding this information, please do not hesitate to contact me.

Sincerely,

ARCCO of ST. LUCIE,



Michael L. Adams
President

EXHIBIT 4

GENERAL STANDARDS FOR DISTRICT ESTABLISHMENT

1. The ARCCO of ST. LUCIE/~~SLW Elks Lodge~~ site is 2.496 acres in size, exceeding the 2-acre minimum requirement for the establishment of a Planned Unit Development within the City of Port St. Lucie.
2. The ARCCO of ST. LUCIE/~~SLW Elks Lodge~~ site is located in along the west side of NW Peacock Loop roadway in the SLW industrial park across from the baseball stadium, within the City of Port St. Lucie. Access to the property will be via the two existing driveways on NW Peacock Loop.
3. ARCCO of ST. LUCIE/~~SLW Elks Lodge~~ PUD has an existing stormwater management system on site that meets all requirements of the City of Port St. Lucie, St. Lucie West Services District and the South Florida Water Management District.

ARCCO of ST. LUCIE/~~SLW Elks Lodge~~ PUD is supplied with potable water and wastewater service by the St. Lucie West Services District. Furthermore, the development is accepting reclaimed water for irrigation from the St. Lucie West Services District.

4. The physical characteristics of the ARCCO of ST. LUCIE/~~SLW Elks Lodge~~ PUD can be described as an existing developed parcel with a 29,675 square foot building. ~~The south 25% of the building is occupied by the ELKS Lodge.~~
5. This PUD application is consistent with the City of Port St. Lucie Comprehensive Land Use Plan.
6. The development consists of 29,675 square feet of building with ~~119~~ 64 parking spaces ~~currently proposed to serving~~ support the site. The site is capable of providing 64 parking spaces under its current design layout.
7. Allowed uses in the Planned Unit Development Zoning Categories are as follows:

The following permitted uses within the City of Port St Lucie General Commercial Zoning District (CG) (158.124).

- (1) Any retail, business, or personal service use (including repair of personal articles, furniture, and household appliances) conducted wholly within an enclosed building,

where repair, processing, or fabrication of products is clearly incidental to and restricted to on-premises sales:

- (2) Horticultural nursery, garden supply sales;
- (3) Office for administrative, business, or professional use;
- (4) Public facility or use;
- (5) Restaurants;
- (6) Retail sales of alcoholic beverages for incidental on and off premises consumption in accordance with [Chapter 110](#)

- a) Banquet hall and/or professional catering services
- b) Recreation amusement facility;
- c) Club or lodge (private), with or without an alcoholic beverage license for sales of alcoholic beverages to members and guests of the club or lodge in accordance with Chapter 110;
- d) Park or playground, or other public recreation or cultural facility (public);
- e) Civic, or cultural facility (private);
- f) Service club;
- g) Youth organization or club (nonprofit);

The following special exception uses within the City of Port St Lucie General Commercial Zoning District (CG) (158.124).

- (1) Enclosed assembly area;
- (2) Catalog showrooms with more than twenty (20%) percent of gross floor area devoted to storage;
- (3) Kennel, enclosed;
- (4) Bars, lounges, and night clubs;
- (5) Schools (private or parochial), meeting the requirements of the State Board of Education, or technical or vocational schools;
- (6) Automobile, boat, farm equipment or truck sales and repairs with repairs conducted entirely within an enclosed building.
- (7) Any use set forth in Subsection B: "Permitted Principal Uses and Structures" that include drive-through service.
- (8) Pain management clinic.

The following permitted uses within the Warehouse Industrial Zoning District (WI) (158.135)

- (a) Cabinet making, carpentry shop or other trade shops
- (b) Manufacturing, assembly, warehousing, storing, processing and packaging of goods and materials
- (c) mini-warehousing
- (d) Warehousing, providing that no more than 500 sq. ft. of each building be devoted to office space associated with the warehouse use and not as a separate unrelated business
- (e) Wholesale trade, providing that no more than (50%) fifty percent of the total floor area is devoted to the display of goods and materials of office space, including the wholesale of alcoholic beverages,
- (f) Building material sales and/or lumber yard

(158.135) (B) (2)

- (g) Warehousing, open storage, provided that all open storage areas shall be completely enclosed by an opaque fence or wall having a minimum height of eight feet with no material placed as to be visible beyond the height of said fence or wall.

- 8. The maximum building height within the Project shall be 75 feet.
- 9. The maximum Building coverage shall be (50%) fifty percent, provided that the combined area coverage of all impervious surfaces shall not exceed (80%) eighty percent.
- 10. The building setbacks shall be as follows:
 - Front Setback = 25 feet
 - Side Setback = 10 feet
 - Rear Setback = 25 feet
- 11. Parking Requirements:
 - Recreational Facility: 1 space/250 sqft

EXHIBIT 5

This Instrument Prepared By and Return to:
FRANK H. FEE, III, ESQ. of
FEE, KOBLEGARD & DeROSS
401 So. Indian River Dr.
Fort Pierce, FL 34950

Property Appraiser's Parcel Identification (Folio Number):
3323-500-0024-000/0

EDWIN M. FRY, Jr., CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY
FILE # 2612380 04/28/2005 at 03:13 PM
OR BOOK 2227 PAGE 1455 - 1456 Doc Type: CDEED
RECORDING: \$18.50
DOC STAMP COLLECTION: \$0.70

This CORRECTIVE WARRANTY DEED is recorded in order to correct a scrivener's misinterpretation of Lot number as appears in WARRANTY DEED of even date herewith recorded in OR Book 2214, page 228, Public Records of St. Lucie County, Florida.

CORRECTIVE WARRANTY DEED

THIS WARRANTY DEED, made the 8 day of April, 2005, by WEST ST. LUCIE ELKS LODGE #2823, INC., a Florida non-profit corporation, whose post office address is 440 NW Peacock Blvd., Port St. Lucie, FL, 34986, hereinafter called the Grantor, to ARCCO OF ST. LUCIE, INC., a Florida corporation, whose post office address is Post Office Box 12909, Fort Pierce, FL, 34979-2909, hereinafter called the Grantee.

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to the instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee all that certain land, situate in St. Lucie County, Florida, viz:

Lot I-2, Block 3, ST. LUCIE WEST PLAT 1, according to the map or plat thereof as recorded in Plat Book 26, Page 8, Public Records of St. Lucie County, Florida.

SUBJECT TO reservations, restrictions and rights-of-way of Public Record, together with taxes subsequent to December 31, 2004, provided, however, that this reference shall not serve to reimpose any of the same.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of

all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

WEST ST. LUCIE ELKS LODGE #2823, INC., a Florida non-profit corporation

Lisa L. Bolton
Witness Signature

Lisa L. Bolton
Printed Name

[Signature]
Witness Signature

FRANK H. FEK, Jr.
Printed Name

By: Clifford L. Brackett
CLIFFORD L. BRACKETT,
Chairman of the Board of Trustees

By: Kathleen A. Heinlein
KATHLEEN A. HEINLEIN,
Exalted Ruler

Attest: Carol Heintz
CAROL HEINTZ, Secretary

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Clifford L. Brackett, Kathleen A. Heinlein, and Carol Heintz, as Chairman of the Board of Trustees, Exalted Ruler, and Secretary, respectively, of WEST ST. LUCIE ELKS LODGE #2823, INC., a Florida non-profit corporation, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same on behalf of the company, and an oath was not taken. (Check one:) Said person(s) is/are personally known to me. Said person(s) provided the following type of identification: _____

Witness my hand and official seal in the County and State last aforesaid this 8th day of April, 2005.

NOTARY RUBBER STAMP SEAL



Lisa L. Bolton
Notary Signature

Lisa L. Bolton
Printed Notary Name

EXHIBIT 6

EXHIBIT 6

BINDING P.U.D. AGREEMENT

**CITY OF PORT ST. LUCIE
BINDING PLANNED UNIT DEVELOPMENT (PUD) AGREEMENT**

Project Name: ARCCO of ST. LUCIE

Legal Description: See Exhibit 5

I HEREBY DECLARE THAT ARCCO of ST. LUCIE, as described in Exhibit 5,

is under unified control and hereby agree to proceed with the proposed PUD development according to the provisions of the City of Port St. Lucie zoning regulations and conditions as may be attached to the zoning of the land to PUD. In addition, I will provide agreements, contracts, deed restrictions and such relevant securities as may be required by the City for completion of the development according to the design parameters approved at the time of rezoning to PUD, and also agree to provide continuing operation and maintenance of such areas, functions, and facilities as are not to be provided, operated or maintained at public expense. In addition, I agree to bind all successors in title to any commitments made hereunder in this paragraph.

Sworn to and subscribed before me
this 2nd Day of December 2014.

Stacey Schaefer
Notary Public State of Florida at Large

ARCCO of St. Lucie, Inc.
a Florida Corporation

By: Michael L. Adams
Michael L. Adams, President

My Commission expires:



.....
* FOR STAFF USE ONLY *

_____ Planning Dept No: _____
_____ Ordinance Number: _____
Date Received: _____ Date Checked: _____

Arcco of St Lucie

3323-500-0024-000-0

440 NW Peacock Boulevard

Port St Lucie, Florida

Legal Description

McCARTY & ASSOCIATES

LAND PLANNING
AND DESIGN

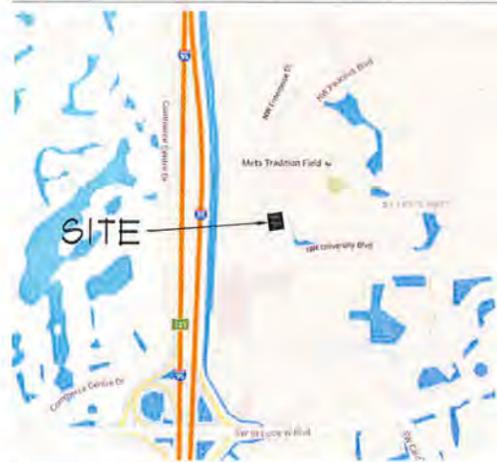
STUART • FT. PIERCE

772.341.9322
www.McCartyLandPlanning.com
M&A@McCartyLandPlanning.com



ST LUCIE WEST - PLAT 1 - BLK 3 LOT I-2
(OR 2214 - 228: 2227 - 1455)

Location Map



Legal Description

ST LUCIE WEST-PLAT 1- BLK 3 LOT 1-2 (OR 2214-228, 2227-1455)

Site Data

PCN	3323-500-0024-000-0
SEC/TOWN/RANGE	23/36S/39E
PARCEL AREA	108,732 SF / 2.5 AC.
ZONING	FLU
FUTURE LAND USE	L1/OSR/1SP
EXISTING USE	VACANT INDUSTRIAL
PROPOSED USE	RECREATION FACILITY
MINIMUM BUILDING SETBACKS	FRONT 25', SIDE 10', REAR 25'
FINISHED FLOOR ELEVATION	31.00
MAXIMUM BUILDING HEIGHT	25.5'
FLOOD ZONE	X
MAXIMUM BUILDING COVERAGE	50%
UTILITIES PROVIDED	ST LUCIE WEST UTILITIES

Lot Coverage Data

TOTAL SITE AREA	108,732 SF / 2.5 AC.	100%
IMPERVIOUS AREA	79,246 SF / 1.82 AC.	72.9%
EXISTING BUILDING	29,675 SF / 0.68 AC.	27.3%
PARKING/VUA	47,010 SF / 1.08 AC.	43.2%
SIDEWALKS, ETC.	2,561 SF / 0.06 AC.	2.4%
PERVIOUS AREA	29,513 SF / 0.68 AC.	27.1%
LANDSCAPE BUFFERS / OPEN SPACES	29,513 SF / 0.68 AC.	27.1%

Parking Requirements

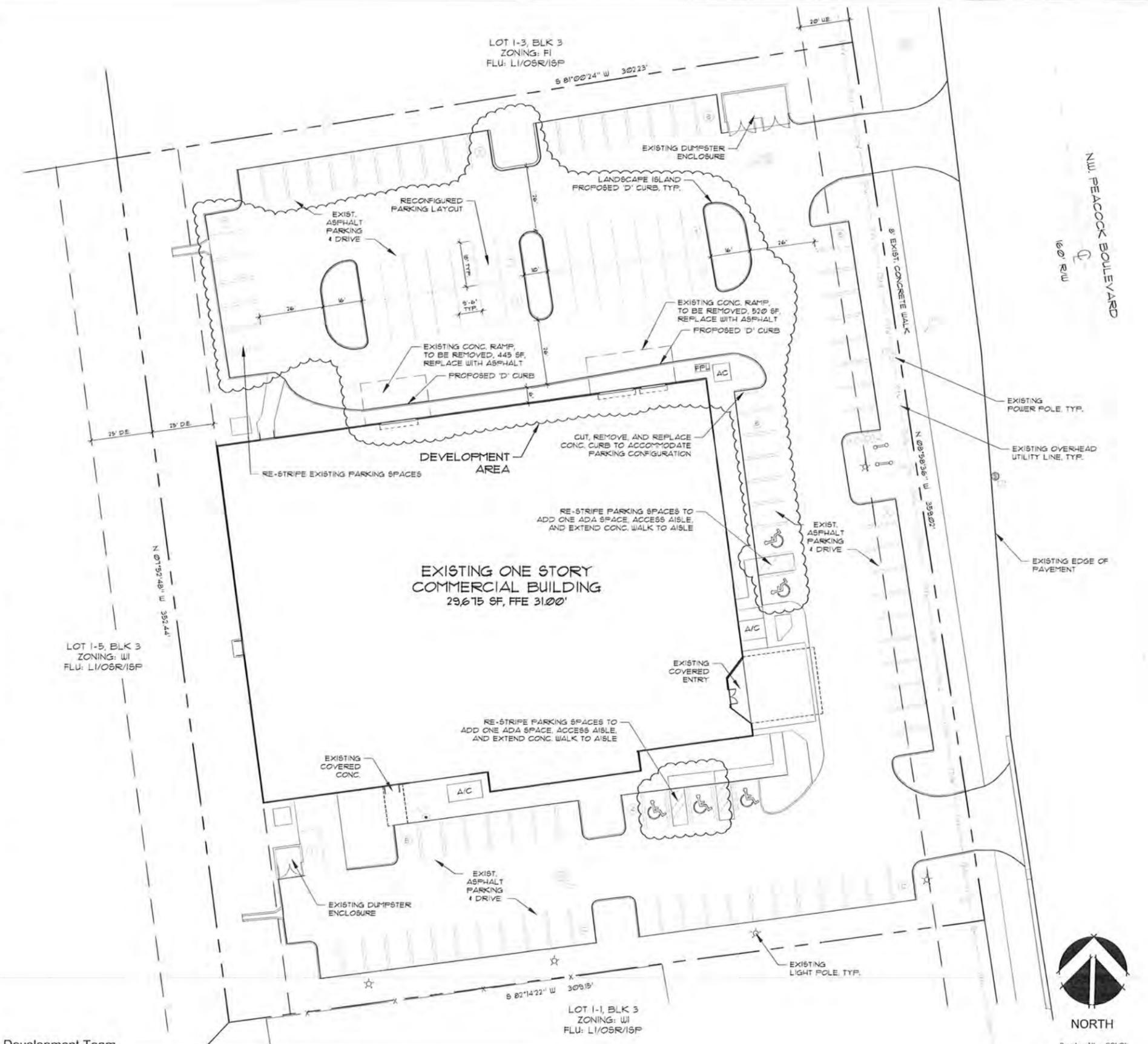
PARKING SPACES REQUIRED	119
PARKING SPACES PROVIDED	119
STANDARD SPACES	114
ADA ACCESSIBLE SPACES	5

Notes

1. ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. PROPOSED TIMETABLE FOR CONSTRUCTION: "ALL BUILDING PERMITS SHALL BE OBTAINED AND ALL CONSTRUCTION COMPLETED WITHIN TIME FRAME CONSISTENT WITH ST LUCIE COUNTY ORDINANCES."
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
4. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
5. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. ALL PAVED AREAS MUST FITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION TO, AND DRAINAGE FROM ALL PLANTERS.
9. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.

Drainage Notes

1. MATCH ALL EXISTING GRADES ALONG SIDE PROPERTY LINES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE SITE DRAINAGE AWAY FROM ALL STRUCTURES INCLUDING BUT NOT LIMITED TO PLANTERS, COURTYARD PLANTING AREAS, HARDSCAPE SURFACES AND ARCHITECTURAL ELEMENTS.
3. CONTRACTOR SHALL PROVIDE DRAINAGE FROM ALL PLANTERS.



Development Team

Owner: Arcco of St Lucie Inc, PO Box 12909, Fort Pierce, FL
 Site Planner: Michael T. McCarty, McCarty & Associates, Land Planning and Design, Phone: 772-341-9322
 Copyright: All ideas, designs, arrangements, and plans included or represented by this drawing are owned by and the property of the designer, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of the designer.



McCarty & Associates

LAND PLANNING AND DESIGN

STUART • FT. PIERCE

772.341.9322
 www.McCartyLandPlanning.com
 Mike@McCartyLandPlanning.com

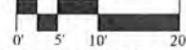
Arcco of St Lucie
 440 NW Peacock Blvd.
 Port St Lucie, Florida
PUD Amendment Concept Plan

Drawn By _____ SL
 Checked By _____ M. McCarty
 Scale _____ 1" = 20'-0"
 Drawing Date _____ 8/17/16
 staff comments 9/27/16



NORTH

Scale: 1" = 20'-0"



Project Number (P16-138)

S-1



City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING & ZONING BOARD - MEETING OF DECEMBER 6, 2016

FROM: THRESIAMMA KURUVILLA, PLANNER *JK*

RE: CHAPTER 158 – ZONING CODE
CITY CODE TEXT AMENDMENT
PROJECT NO. P16-179

DATE: NOVEMBER 28, 2016

BACKGROUND:

The City is initiating a text amendment to Chapter 158 of the Code of Ordinances. This text amendment will provide consistent language related to automobile repair and maintenance in the WI (Warehouse Industrial) and IN (Industrial) zoning districts. "Repair and maintenance of vehicles and equipment" is proposed to be added to the IN zoning district as a permitted use consistent with the language of the WI zoning district. The proposed change is shown in the attached Exhibit "A" to the ordinance with addition shown as underlined.

STAFF RECOMMENDATION:

The Planning and Zoning Department finds the proposed amendment to Chapter 158 of the Zoning Code to be consistent with the City's Comprehensive Plan adopted in 2012 and recommends approval.

EXHIBIT "A"

CHAPTER 158 – ZONING CODE

ARTICLE IX – INDUSTRIAL DISTRICTS

Sec. 158.136. Industrial Zoning District (IN).

(A) **Purpose.** The purpose of the industrial zoning district (IN) shall be to locate and establish areas within the City which are deemed to be uniquely suited for the development and maintenance of industrial activities; to designate those uses and services deemed appropriate and proper for location and development within said zoning district; and to establish such development standards and provisions as are appropriate to ensure proper development and functioning of uses within the district. This district incorporates most of those uses formerly designated heavy industrial (HI), flexible industrial (FI), and light industrial (LI).

(B) **Permitted Principal Uses and Structures.**

(1) The following principal uses and structures are permitted provided that all businesses, services, manufacturing or processing of materials are confined within a fully-enclosed building with no exterior emission of odors, fumes, dust, smoke, vibration, waste liquids, or other substances:

- a. Manufacturing, assembly, warehousing, storing, processing and packaging of goods and materials.
- b. Research and development facility.
- c. Public or semi-public facility or use.
- d. Television broadcasting station and telephone call centers.
- e. Analytical laboratory.
- f. Warehouse.
- g. Wholesale trade and distribution.
- h. Office space as needed in conjunction with a use listed above.
- i. Retail and business services primarily intended to serve the industrial facilities.
- j. Adult entertainment. The applicant must demonstrate consistency with the provisions and conditions of all other pertinent City Code of Ordinances which regulate this use.
- k. Facility-based youth day treatment program.
- l. Commercial laundry facilities and linen supply.

- m. Microbrewery.
 - n. Repair and maintenance of vehicles and equipment.
- (2) The following principal uses which need not be fully enclosed in a building or structure are permitted;
- a. Public utility facility, including water pumping plant, reservoir, and electrical substation.
 - b. Warehousing, open storage, provided that all open storage areas shall be completely enclosed by an opaque fence or wall having a minimum height of eight (8) feet with no material placed so as to exceed the height of said fence or wall.
 - c. Equipment rental business provided that all open storage areas shall be completely enclosed by an opaque fence or wall having a minimum height of eight (8) feet with no material placed so as to exceed the height of said fence or wall.
 - d. Self-service storage facilities in accordance with Section 158.227.

(C) **Special Exception Uses.** The following uses may be permitted following the review and specific approval by the City Council and serve to implement heavy industrial land uses as contemplated in the Comprehensive Plan:

- (1) Mobile home or apartment for use by custodian or night watchman.
- (2) Disposal and recycling facility for construction and demolition debris, provided that all open storage areas shall be completely enclosed by an opaque fence or a wall having a minimum height of eight (8) feet with no material placed so as to exceed the height of the fence or wall; minimum area required, ten (10) acres.
- (3) Wireless communication antennas and towers, as set forth in [section 158.213](#).
- (4) Recreational vehicle park.
- (5) Airport or landing field.
- (6) Commercial driving school.
- (7) Kennel (enclosed), with outdoor runs.
- (8) Other heavy industrial development not listed above but that are considered to have high intensity use with potential impact on surrounding land uses and to be located within heavy industrial land use districts.
- (9) Billboards as allowed under [155.08\(N\)](#).

(10) Solar generation station subject to the requirements of [section 158.230](#).

(11) Secondary metals recycler in accordance with Chapter 117.

(D) **Accessory Uses.** As set forth within [section 158.217](#)

(E) **Minimum Lot Requirements.** Twenty thousand (20,000) square feet and a minimum width of one hundred sixty (160) feet. More than one (1) permitted or special exception use may be located upon the lot as part of a totally-designed development to be maintained under single ownership. Properties located within conversion areas as defined by this chapter shall meet the requirements within the City of Port St. Lucie Land Use Conversion Manual.

(F) **Maximum Building Coverage.** Fifty (50%) percent, provided that the combined area coverage of all impervious surfaces shall not exceed eighty (80%) percent.

(G) **Maximum Building Height.** Thirty-five (35) feet, except for transmission and broadcast towers.

(H) **Minimum Living Area.** Mobile home or apartment: Six hundred (600) square feet.

(I) **Setback Requirements and Landscaping.**

(1) **Front Setback.** Each lot shall have a front yard with a building setback line of twenty-five (25) feet.

(2) **Side Setback.** Each lot shall have two (2) side yards, each of which shall have a building setback line of ten (10) feet. A building setback line of twenty-five (25) feet shall be maintained adjacent to any residential zoning district or to a public right-of-way.

(3) **Rear Setback.** Each lot shall have a rear yard with a building setback line of twenty-five (25) feet from any residential land use, ten (10) feet from any other land use, provided that no setback is required from a railroad right-of-way.

(4) **Landscaping Requirements.** Landscaping and buffering requirements are subject to Chapter 154. All mechanical equipment shall be screened from property zoned residential. This screening shall be designed as both a visual barrier and a noise barrier. All open storage areas shall be screened from view from public rights-of-way and residentially zoned property. Said screening shall be an opaque fence or wall at least eight (8) feet tall, with no material placed so as to be visible beyond the height of said fence or wall.

(J) **Off-Street Parking and Service Requirements.** As set forth in [Section 158.221](#).

(K) **Site Plan Review.** All permitted and special exception uses shall be subject to the provisions of sections [158.235](#) and [158.245](#).

ORDINANCE 17-

AN ORDINANCE OF THE CITY OF PORT ST. LUCIE, FLORIDA, AMENDING THE PORT ST. LUCIE CODE OF ORDINANCES BY PROVIDING AMENDMENT TO CHAPTER 158 – ZONING CODE; PROVIDING THE INVALIDITY OF ANY PORTION SHALL NOT AFFECT THE REMAINING PORTIONS OF THIS ORDINANCE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, Florida adopted amendments to the City of Port St. Lucie Comprehensive Plan by Ordinance 12-19, and

WHEREAS, Section 163.3202, Florida Statutes, provides for the amendment and enforcement of land development regulations that are consistent with and implement the adopted comprehensive plan; and

WHEREAS, Section 163.3174(4)(C), Florida Statutes, provides that the Local Planning Agency shall review proposed land development regulations and make recommendations to the governing body as to the consistency of the proposed land development regulations with the adopted Comprehensive Plan; and

WHEREAS, this City initiated zoning text amendment, P16-179, to the existing Chapter 158 – Zoning Code as outlined in Exhibit “A” with addition shown as underlined by adding “Repair and maintenance of vehicles and equipment” in IN zoning district; and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board having been duly designated as the local planning agency pursuant to Section 163.3174(4)(C), Florida Statutes, and having held a public hearing thereon, has considered this proposed amendment to the Code of Ordinances and submitted its recommendations thereon to the City Council; and

WHEREAS, having considered the recommendations of the Planning and Zoning Board, The Port St. Lucie City Council has found and determined that the adoption of zoning text amendment to Chapter 158 – Zoning Code will foster and preserve the public health, safety and welfare; value and character of the community; and implement the adopted comprehensive plan.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1. The City of Port St. Lucie Chapter - 158 – Zoning Code, is hereby adopted for zoning text amendment into the Code of Ordinances as shown in Exhibit “A” attached hereto and incorporated by reference herein.

Section 2. The provisions of the Ordinance are severable and, if any section, sentence, clause or phrase is for one reason held to be unconstitutional, invalid or ineffective, this holding shall not affect the validity of the remaining portions of this Ordinance, it being expressly declared to be the City Council’s intent that it would have passed the valid portions of this Ordinance without inclusion of any invalid portion or portions.

Section 3. This ordinance shall become effective on January 23, 2017.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this

_____ day of _____, 2017.

CITY COUNCIL

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM: _____
O. Reginald Osenton, City Attorney

Thresiamma Kuruvilla

From: Thomas Mullin <TMullin@nasonyeager.com>
Sent: Thursday, November 17, 2016 10:02 AM
To: Thresiamma Kuruvilla
Subject: RE: ordinance

Approved. No changes.
Thanks.

Thomas Mullin

Attorney at Law

Email: tmullin@nasonyeager.com

Tel: 561-982-7114 | Fax: 561-982-7116

[Profile](#) [vCard](#)



750 Park of Commerce Blvd., Suite 210 | Boca Raton | FL | 33431
www.nasonyeager.com

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Think Green! Please do not print this e-mail unless absolutely necessary.

From: Thresiamma Kuruvilla [mailto:TKuruvilla@cityofpsl.com]
Sent: Thursday, November 17, 2016 9:48 AM
To: Thomas Mullin <TMullin@nasonyeager.com>
Subject: ordinance

Pl see the draft ordinance for a zoning text amendment to section 158-zoning code. We are adding "Repair and maintenance of vehicles and equipment" in IN zoning district as a permissible use which is listed as a permissible use in WI.

Thanks, Thres

This email has been scanned for email related threats and delivered safely by Mimecast.
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City of Port St. Lucie
Planning and Zoning Department
A City for All Ages

TO: PLANNING & ZONING BOARD - MEETING OF DECEMBER 6, 2016

FROM: THRESIAMMA KURUVILLA, PLANNER *JK*

RE: ST. LUCIE MEDICAL PARK
COMPREHENSIVE PLAN AMENDMENT APPLICATION-SMALL SCALE
PROJECT NO. P16-185

DATE: NOVEMBER 29, 2016

PROPOSED PROJECT: This application is to make consistent the boundaries of the future land use designations of OSC (Open Space Conservation) and ROI (Residential Office Institutional) with the property that was deeded to HCA in 2001. The comprehensive plan amendment is to change 1.0339 acres from OSC (Open Space Conservation) to ROI (Residential Office Institutional), and 0.888 acres of ROI (Residential/Office/Institutional) to OSC (Open Space Conservation) as shown on the attached Exhibit "A" of the draft ordinance.

APPLICANT/OWNER: HCA Realty, Inc.

LOCATION: The property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue.

LEGAL DESCRIPTION: Portions of Tract 1 and Tract 2, 1st replat of Tract G-5.

SIZE: 1.92 acres.

EXISTING USE: Vacant land. There is an existing medical office building located on the 9.97 acre overall parcel owned by HCA.

EXISTING ZONING: I with a SEU for a clinic (Institutional/Special Exception Use) and RS-2 (Single Family Residential).

EXISTING AND PROPOSED FUTURE LAND USES:

Parcel #:	Area	Owner	Existing FLU	Proposed FLU
1	1.0339 acres	HCA Realty, Inc.	OSC	ROI
2	0.297 acres	City of PSL	ROI	OSC
3	0.591 acres	City of PSL	ROI	OSC

SURROUNDING FUTURE LAND USES, ZONING AND EXISTING USES:

Direction	Future Land Use	Zoning	Existing Use
N	OSC	RS-2	Drainage easement
S	OSC, RL	RS-2, OSC, I	Tiffany Ave. and beyond that houses, drainage easement, St. Lucie Hospital
E	RL, OSC	RS-2,	Drainage easement, houses
W	OSC, RH, CG	RS-2, RM-15, CG	Drainage easement, Village Green Dr. and beyond that Midport Place II condo, medical office

IMPACTS AND FINDINGS:

In 2001, Ordinance 00-122 approved the Comprehensive Plan Amendment for a 9.97 acre parcel to allow for the development of medical offices associated with St. Lucie Medical Center. The legal and sketch associated with this Ordinance does not match the property boundary that was later deeded to HCA.

HISTORY: Per Ordinance 00-122, a comprehensive plan amendment from OSC (Open Space Conservation) to ROI (Residential Office Institutional) for 9.97 acres of City property was approved for land swap by the City and HCA.

Parcel #:	Area	Owner	Existing FLU	Proposed FLU
1	1.0339 acres	HCA Realty, Inc.	OSC	ROI
2	0.297 acres	City of PSL	ROI	OSC
3	0.591 acres	City of PSL	ROI	OSC
Total area	1.92 acres			

The proposed land use change will result in an increase of 0.15 acres (6534 sq. ft.) of ROI (1.0339-0.888=0.15 acres).

Sewer/Water Service: The City of Port St. Lucie Utility Systems Department will provide water and sewer service for this project. A breakdown of the potable water and wastewater demand for the existing land use is as follows:

Water Calculations for proposed future land use (ROI)					
Land Use	Area in sq. ft.	Potable Water Rate (gpd/1000 sf)	Projected Water (gpd)	Wastewater Rate (gpd/1,000 sf)	Projected Wastewater (gpd)
ROI	2614	120	313	102	266

The proposed comprehensive plan amendment will result in an increase in water and wastewater demand.

Transportation: The proposed application increase traffic trips slightly as a result of this request.

Traffic Analysis for proposed land use (ROI)						
Land Use Code	Land Use	Intensity	Trip Generation Calculation	A.M. Peak Hour	Trip Generation Calculation	P.M. Peak Hour
720	Medical Office	2,614	Average Rate = 3.49(X) + 5.25	14	Average Rate = 4.43 (X) + 0.48	12

The proposed comprehensive plan amendment will result in an increase of 14 am peak hour trips and 12 pm peak hour trips.

Schools/Recreation: No new residential land use is proposed by this land use amendment application. Therefore, the proposed land use amendment will not impact the St. Lucie County School District or the recreational requirements of the City of Port St. Lucie.

Storm Water: The project will be required to provide paving and drainage plans that are in compliance with adopted level of service standards.

Solid Waste: Solid waste impacts are measured and planned based on population projections on an annual basis. There is adequate capacity available to accommodate this project.

Environmental – Wetlands and Existing Vegetation: An environmental assessment has not been included as part of this application.

Flood Zone: This parcel is located in Panel Number 12111C0260J, and is located within FEMA's Flood Zone X. Zone X is determined to be located outside the 100 and 500 year floodplains.

Police: The department's response time is approximately 6-10 minutes for emergency calls. This proposed comprehensive plan is not expected to adversely impact that response time.

Fire/EMS: The proposed development is supported by the St. Lucie County Fire District (SLCFD). Specifically, the site is served by SLCFD station #12 located at 1850 SW Walton Road. The applicable station is located 3 miles away.

Compatibility Analysis: The request is for the adjustment of 1.92 acres (1.0339 acres to ROI and 0.888 acres to OSC) of HCA property and is consistent with the Comprehensive Plan.

Justification/Mitigation: The requested land use change is justified and supported by the Comprehensive Plan and is for an appropriate use.

STAFF RECOMMENDATION:

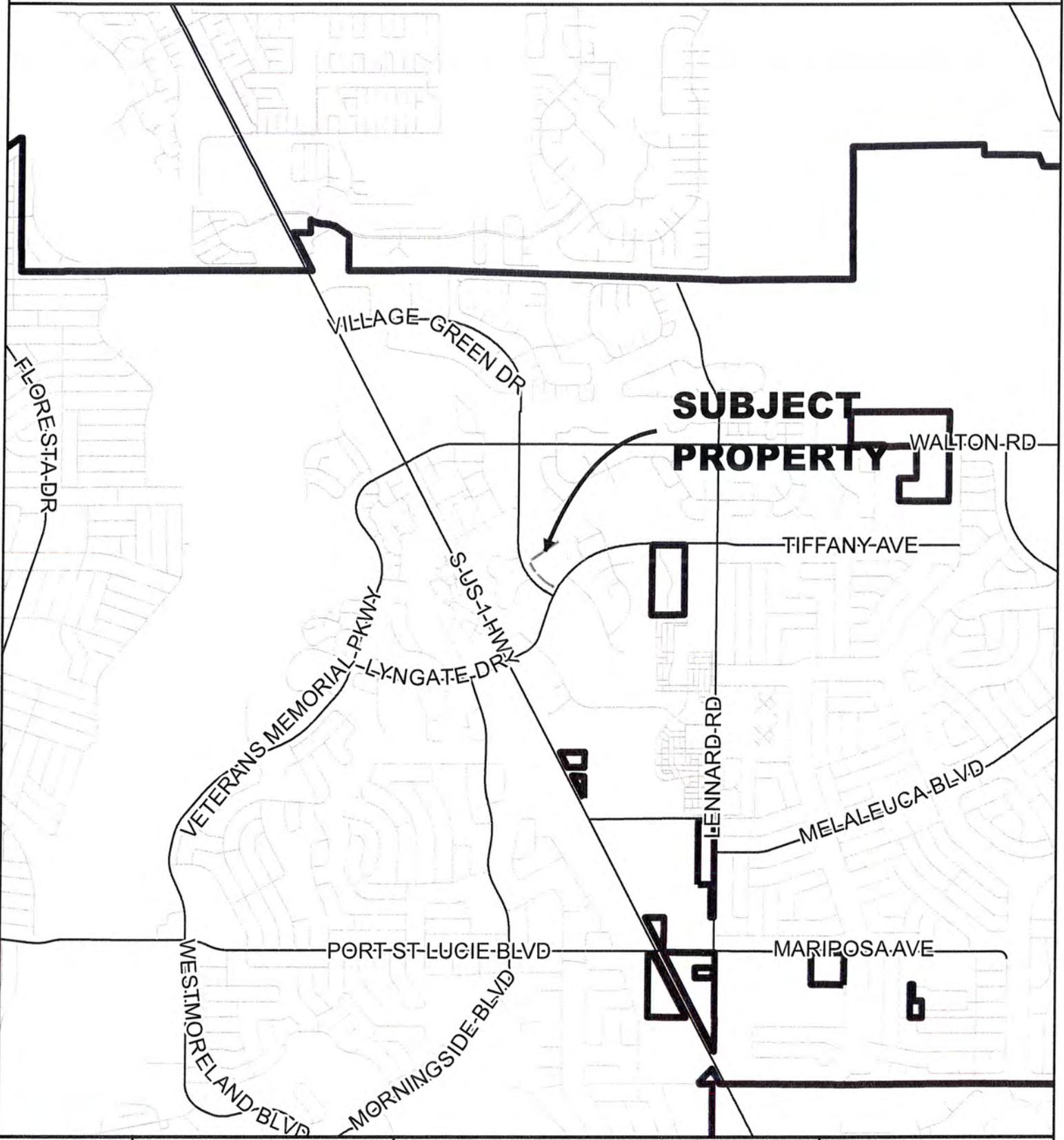
The Planning and Zoning Department staff finds the petition to be consistent with the intent and direction of the City's Comprehensive Plan and recommends approval of the proposed amendment based on the analysis and findings as noted in the staff report.

Planning and Zoning Board Action Options:

- Motion to recommend approval to the City Council
- Motion to recommend approval to the City Council with conditions
- Motion to recommend denial to the City Council

Please note: Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to *table* or *continue* the hearing or review to a future meeting.

GENERAL LOCATION

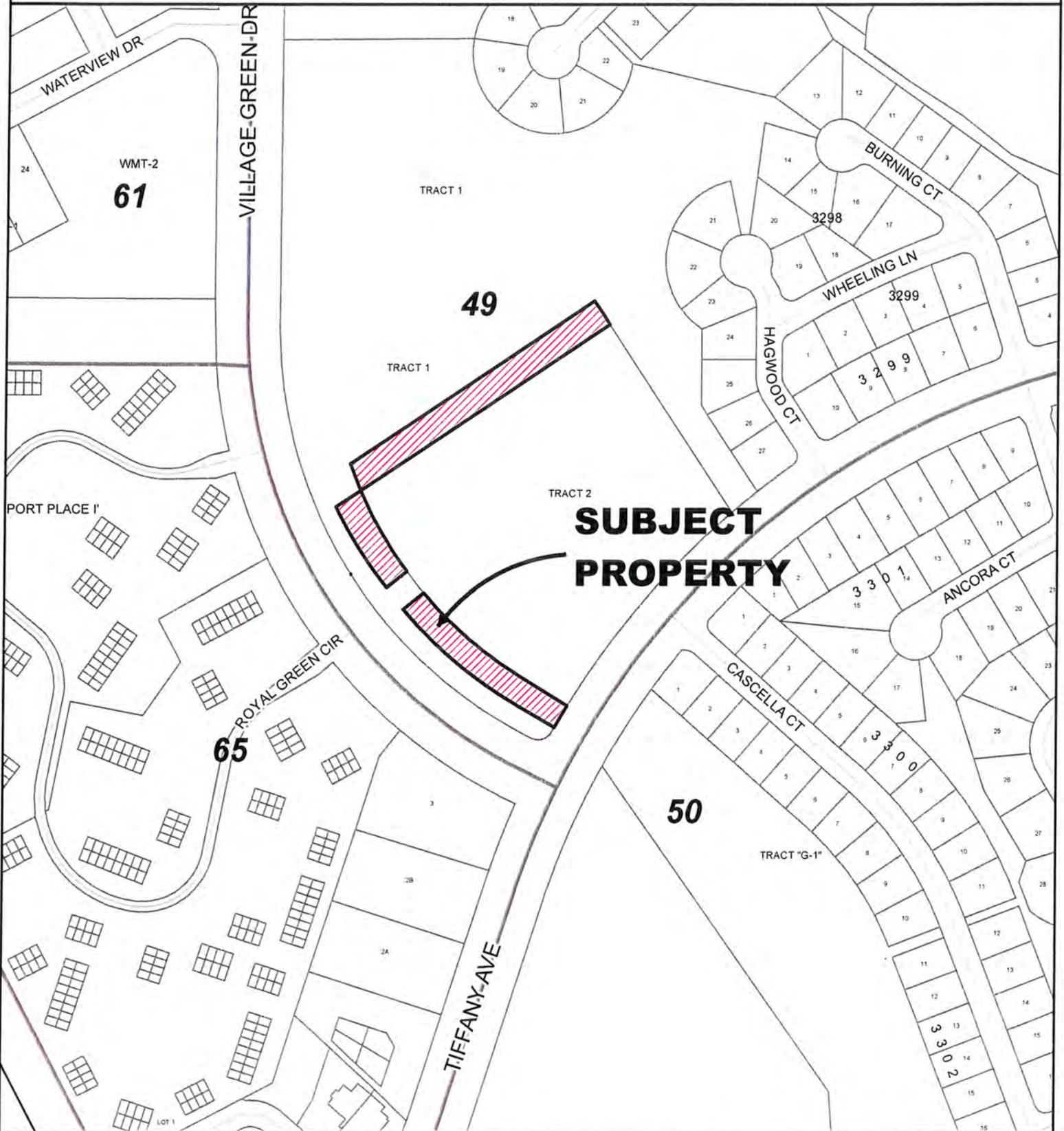


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

DATE:	11/8/2016
APPLICATION NUMBER:	P16-185
USER:	mkoehler
SCALE:	1 in = 0.5 miles

GENERAL LOCATION



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

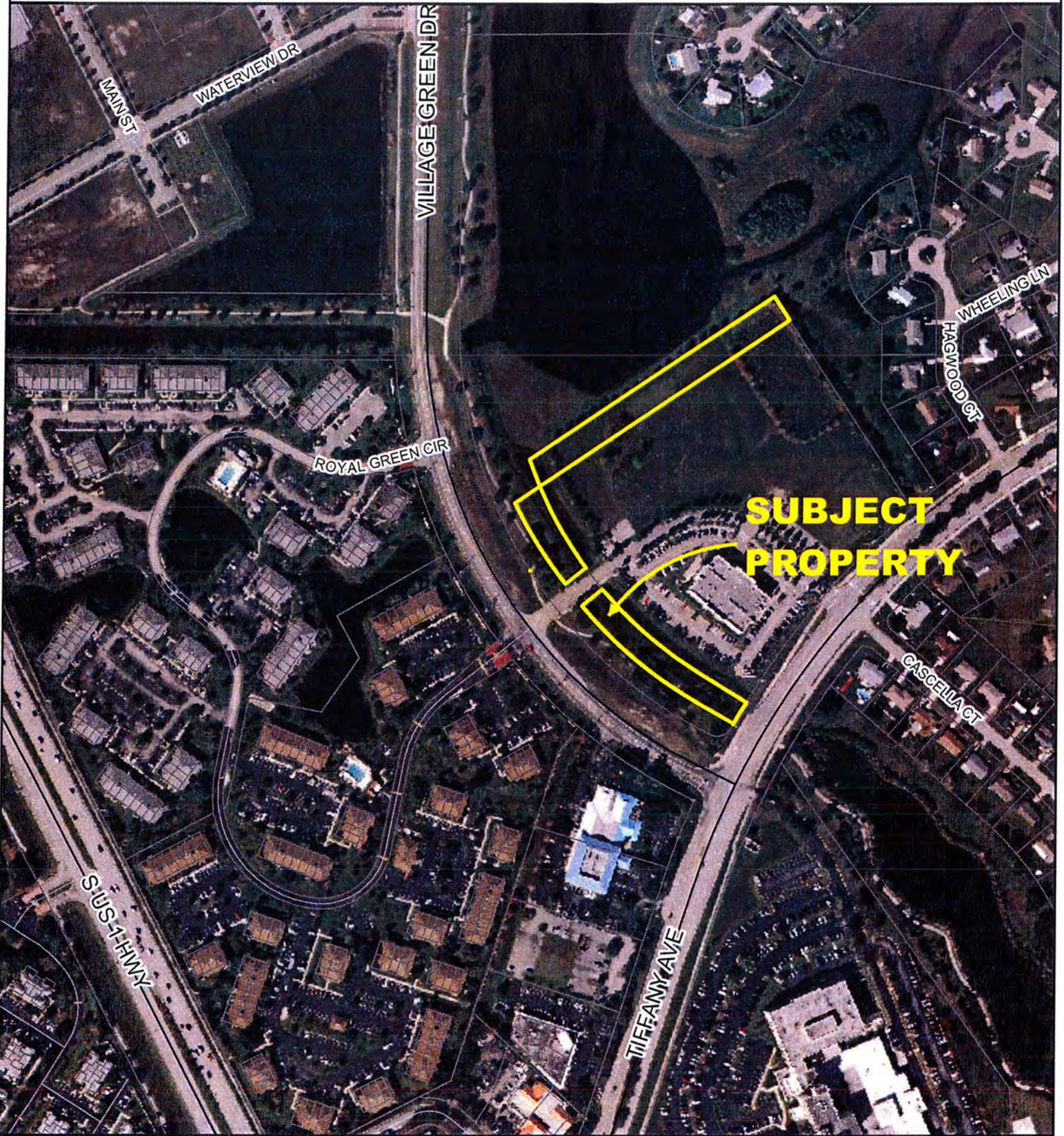
DATE: 11/8/2016

APPLICATION NUMBER:
P16-185

USER:
mkohler

SCALE: 1 in = 300 ft

AERIAL



**SUBJECT
PROPERTY**

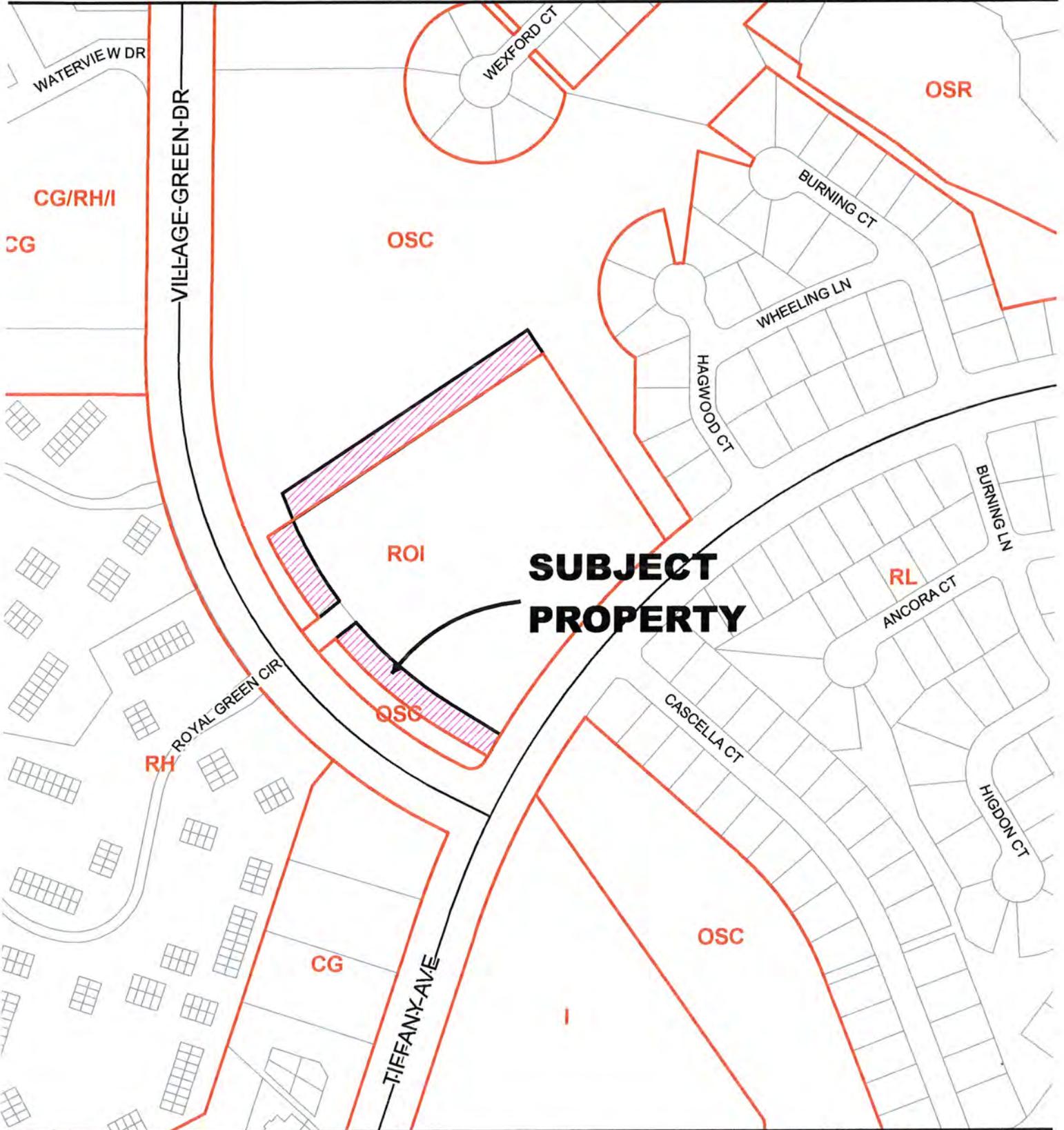


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5
AERIAL DATE 2014

DATE:	11/8/2016
APPLICATION NUMBER:	P16-185
USER:	mkohler
SCALE:	1 in = 300 ft

FUTURE LAND USE

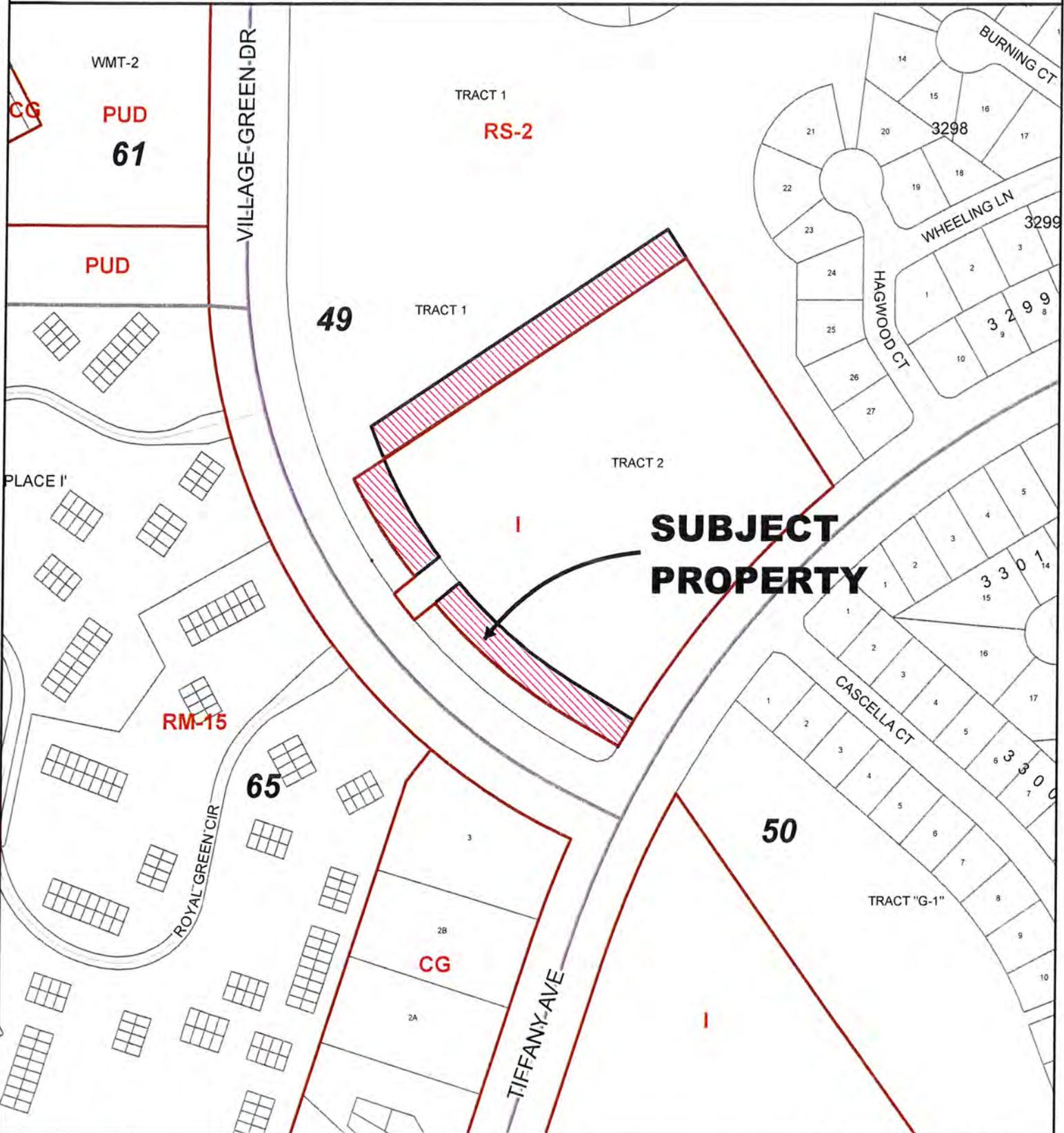


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK

DATE: 11/8/2016
APPLICATION NUMBER:
P16-185
USER: mkohler

EXISTING ZONING



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

DATE:	11/9/2016
APPLICATION NUMBER:	P16-185
USER:	mkoehler
SCALE:	1 in = 248 ft

APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX (772) 871-5124

FOR OFFICE USE ONLY

Planning Dept P16-185
Fee (Nonrefundable)\$ -0-
Receipt # -

Refer to "Fee Schedule" for application fee. Make checks payable to the 'City of Port St. Lucie.' Fee is nonrefundable unless application is withdrawn prior to advertising for the Planning and Zoning Board meeting. **All** items on this application should be addressed, otherwise it can not be processed. Attach proof of ownership; two copies of deed. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: bradcurrie@edc-inc.com

PROPERTY OWNER

Name: HCA Realty, Inc.
Address: 2501 Park Plaza
Nashville, TN 37203
Telephone No.: 615-344-9551 Fax No.: _____

IF PROPERTY IS IN MULTIPLE OR CORPORATE OWNERSHIP, PLEASE PROVIDE ONE CONTACT PERSON.

Name: Nicholoas Paul
Address: Same as above
Telephone No.: _____ Fax No.: N/A

AGENT OF OWNER (if any)

Name: Bradley J. Currie, Engineering Design & Construction, Inc.
Address: 469 NW Prima Vista Blvd.
Port St. Lucie, FL 34983
Telephone No.: 772-340-4990 Fax No.: N/A

RECEIVED

OCT 30 2015

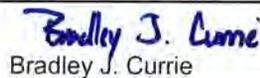
PLANNING DEPARTMENT
CITY OF PORT ST LUCIE

PROPERTY INFORMATION

Boundary Description See attached Letter of Justification.
(attach map) _____
Property Tax I.D. Number 3420-746-0002-000-4 / 3420-746-0001-000-7
Current Land Use OSC / ROI Proposed Land Use ROI / OSC
Current Zoning SFR / INSTITUTIONAL Acreage of Property See Letter of Justification
attached.

Reason for Comprehensive Plan Amendment: _____
THIS REQUEST IS TO CORRECT A PRIOR APPROVAL IN WHICH THE LEGAL AND SKETCH WHICH WERE
INCLUDED AS PART OF THE CPA APPLICATION REFLECTED INCORRECT PROPERTY BOUNDARIES.


*Signature of Owner

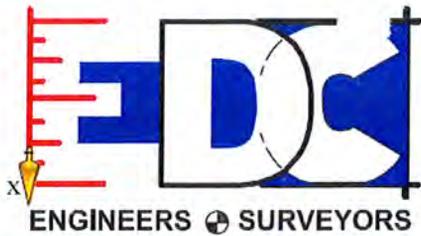

Bradley J. Currie

Hand Print Name

10/31/16
Date

*If signature is not that of owner, a letter of authorization from the owner is needed.

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.



RECEIVED
 OCT 31 2016
 PLANNING DEPARTMENT
 CITY OF PORT ST. LUCIE, FL

LETTER OF JUSTIFICATION
St. Lucie Medical Park
 Comprehensive Plan Amendment
 October 31, 2016

REQUEST

On behalf of the Petitioner, Engineering, Design, & Construction, Inc. (EDC) is requesting Comprehensive Plan Amendment approval for a project to be known as St. Lucie Medical Park. The parcel ID numbers associated with this application are noted in the below table. The properties are generally located on the east side of SE Village Green Drive and north of SE Tiffany Avenue. This application is to correct a previously approved Comprehensive Plan Amendment (Ordinance 00-122) which depicted incorrect property boundaries. The petitioner has submitted an application to rezone the property concurrently with this application.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue in Port St. Lucie. The parcels associated with this request are identified in the below table:

Parcel #:	Parcel ID:	Owner	Address	Existing FLU	Proposed FLU
1	3420-746-0002-000-4	HCA Realty, Inc.	1871 SE Tiffany Ave.	OSC	ROI
2	3420-746-0001-000-7	City of PSL	1899 SE Tiffany Ave.	ROI	OSC
3	3420-746-0001-000-7	City of PSL	1899 SE Tiffany Ave.	ROI	OSC

Parcel #:	Acreage
1	1.0339
2	0.297
3	0.591

In 2001, Ordinance 00-122 approved the Comprehensive Plan Amendment for a 9.97 acre parcel to allow for the development of medical offices

associated with St. Lucie Medical Center. The legal and sketch associated with this Ordinance was not correct. Pursuant to discussions with City staff, it was deemed necessary to prepare and submit a Comprehensive Plan Amendment Application to correct the parcels impacted by this error.

The Future Land Use map has incorrect boundaries depicted for the noted properties. The exhibit noted to the right reflects the existing land uses. Parcel 1 is has an existing Future Land



ENGINEERING DESIGN & CONSTRUCTION, INC.
 CIVIL ENGINEERS & SURVEYORS SPECIALIZING IN LAND DEVELOPMENT

FORT PIERCE OFFICE
 1934 Tucker Court, Fort Pierce, FL 34950
 ph:(772) 462-2455 fx: (772) 462-2454

PORT ST. LUCIE OFFICE
 469 NW Prima Vista Blvd, Port St. Lucie, FL 34983
 ph:(772) 340-4990 fx:(772) 340-7996

Use Designation of OSC, while Parcels 2 & 3 have an existing Future Land Use Designation of ROI. This revision includes the northern parcel (Parcel # 1) modifying it from Conservation Open Space (OSC) to Residential – Office – Institutional (ROI) and revisions of two (2) tracts southwest of the subject property from Residential - Office – Institutional (ROI) to Conservation Open Space (OSC).

To the north of the subject property lies conservation open space currently owned by the City of Port St. Lucie. This tract of land has a Future Land Use Designation of Conservation Open Space (OSC) and an underlying zoning category of Single Family Residential.



To the west of the subject property is land that runs adjacent to the site which is owned by the City of Port St. Lucie. The property is currently vacant and has a future land use designation of Conservation Open Space (OSC) and is located in the Single Family Residential zoning district. This application will correct the dual future land use designations for Parcels 2 and 3 making the complete parcel lie within a Future Land Use Designation of Conservation Open Space (OSC). West of the City owned property lies the 150' Right-of-Way for SE Village Green Drive followed by Midport Place II, a single family residential community. Midport Place II has a Future Land Use Designation of High Density Residential and an underlying zoning category of Multiple Family Residential.

Southwest of the property lies the 150' Right-of-Way of SE Village Green Drive followed by medical office buildings. These buildings have a Future Land Use Designation of Commercial General and an underlying zoning category of General Commercial.

To the south of the subject property lies the 140' Right-of-Way of SE Tiffany Avenue followed by St. Lucie Medical Center. The southern property has a future land use designation of Institutional and an underlying zoning category of Institutional

Southeast of the subject property lies the 140' Right-of-Way of SE Tiffany Avenue followed by single family residential homes which have a Future Land Use Designation of Low Density Residential and an underlying zoning category of Single Family Residential.

To the East of the subject property lies a Conservation Tract owned by the City of Port St. Lucie followed by single family residential homes. The government owned property has a Future Land Use Designation of Conservation Open Space (OSC) and an underlying zoning category of Single Family Residential. East of that, the single family homes have a Future Land Use Designation of Low Density Residential and an underlying zoning category of Single Family Residential.

Environmental – Wetlands and Existing Vegetation: This application is to correct a mapping error only. Due to this, an environmental assessment has not been included as part of this application.

Traffic Analysis – This application is to correct a mapping error only. The proposed application does not increase traffic or other governmental services as a result of this request. Due to this, a traffic analysis is not included as part of this application.

Market Study: Because the requested change to the land use designation is to correct a mapping error only and does not change the use which would have an increased impact on services, a market study is not provided as part of this application. There is no net increase of commercial square footage by this amendment.

Chart comparing existing and proposed future land uses – This application is to correct a mapping error only. Due to this, a chart comparing existing and proposed future land uses has not been included as part of this application.

Based on the above and attached information, the applicant respectfully request approval of the proposed application.

S:_Project Files\16-115 - HCA - St. Lucie Medical Park\EDC Documents\Submittal Documents\Justification Statement\2015-10-31_SL_Med_CPA_16-115.doc

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 1882004 OR BOOK 1363 PAGE 169
Recorded: 02/12/01 14:14

Ret to: SLW Box 2* Doc Assump: \$ 0.00
Universal Land Title Dept Tax : \$ 10,500.00
* Int Tax : \$ 0.00

PREPARED BY AND RETURN TO:

David N. Sowerby, Esquire
MELVILLE & SOWERBY, P.L.
2490 South 25th Street
Fort Pierce, Florida 34981
Courthouse Box #63

01060237
PARCEL ID. NO. Portion of 3420-745-0007-000 6

[Space Above This Line For Recording Data]

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made and executed this 9th day of February, 2001, by and between CITY OF PORT ST. LUCIE, FLORIDA, a municipal corporation, (hereinafter "Grantor"), and HCA REALTY, INC., a Tennessee corporation, whose post office address is 2501 Park Plaza, Nashville, TN 37203 (hereinafter "Grantee").

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's heirs and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to wit:

TRACT 2 of the FIRST REPLAT OF TRACT G-5, as recorded in Plat Book 39, Pages 28 and 28A of the Public Records of St. Lucie County, Florida.

Subject To restrictions, reservations and easements of record, if any, which are not reimposed hereby, and real estate taxes subsequent to December 31, 1999.

The property conveyed herein shall be subject to the following restrictive covenant. To wit:

For a period of ten (10) years from the date of this Deed, development and use of the Property shall be limited to medical care facilities and ancillary improvements related to the use and operation of medical care facilities. For a period of twenty (20) years from the date of this Deed, neither the Property, nor any portion thereof, shall be rezoned except for the limited purpose of facilitating construction of medical care facilities and ancillary improvements related to the use and operation of medical care facilities. These restrictive covenants shall run with the land and shall be enforceable by the City Council of the City of Port St. Lucie, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

OR BOOK 1363 PAGE 170

[Space Above This Line For Recording Date]

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor warrants the title to said land and will defend the same against the lawful claims of all persons claiming by or through grantor.

IN WITNESS WHEREOF, the Grantor has hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

CITY OF PORT ST. LUCIE, FLORIDA
a municipal corporation


Print Name: MARGARET MCGRATH

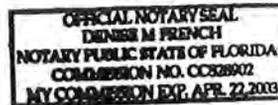
By: 
ROBERT E. MINSKY, Mayor


Print Name: DENISE M FRENCH

STATE OF FLORIDA
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me, this 9th day of February, 2001, by ROBERT E. MINSKY, as Mayor of the CITY OF PORT ST. LUCIE, FLORIDA, a municipal corporation, who is personally known to me, or who produced his driver's license as identification.


Notary Public, STATE OF FLORIDA
My Commission Expires:



HCA REALTY INC.
ATTN: TAX DEPT.
PO BOX 1504
NASHVILLE, TN 37202

AGENT CONSENT FORM

Project Name: SAINT LUCIE MEDICAL PARK SITE PLAN AMENDMENT

Parcel ID: 3420-746-0002-000-4

BEFORE ME THIS DAY PERSONALLY APPEARED Nicholas L. Paul, WHO BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 27 day of July, 2016, by Nicholas L. Paul (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Helen W. Cook
(Signature of Person Taking Acknowledgement)

Nicholas L. Paul
Owner's Signature

Helen W. Cook
(Name of Acknowledger Typed, Printed or Stamped)

Nicholas L. Paul, Vice President of HCA Realty, Inc.
Owner's Name (Print)

Notary
(Title or Rank)

One Park Plaza
Street Address
Nashville, TN 37203
City, State, Zip Code

My Commission Expires
March 6, 2018

(Serial Number, if any)

(615) 344-2190
Telephone



Thresiamma Kuruvilla

From: Thomas Mullin <TMullin@nasonyeager.com>
Sent: Wednesday, November 23, 2016 1:41 PM
To: Thresiamma Kuruvilla
Subject: RE: Ordinance for CPA (P16-185)

No changes. Approved.
Thanks.

Thomas Mullin

Attorney at Law

Email: tmullin@nasonyeager.com

Tel: 561-982-7114 | Fax: 561-982-7116

[Profile](#) [vCard](#)



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www.nasonyeager.com

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Think Green! Please do not print this e-mail unless absolutely necessary.

From: Thresiamma Kuruvilla [mailto:TKuruvilla@cityofpsl.com]
Sent: Monday, November 21, 2016 3:07 PM
To: Thomas Mullin <TMullin@nasonyeager.com>
Subject: Ordinance for CPA (P16-185)

PI see the draft ordinance for St. Lucie Medical Park CPA and this is also scheduled for Dec 6 P&Z B.
Thanks, Thres

Thresiamma Kuruvilla, Planner (B.Sc Eng., M.T.P.)
Planning and Zoning Department
City of Port St. Lucie
121 SW Port St. Lucie Blvd.
Port St. Lucie, FL 34984
772-871-5281 (Direct Phone) 772 871 5213 (Office)
772-871-5124 (Fax)
Tkuruvilla@cityofpsl.com

How is my service? Please contact Bonnie R. Cruz at Bonniec@cityofpsl.com to submit your suggestions, comments and feedback.

ORDINANCE 17-

AN ORDINANCE OF THE CITY OF PORT ST. LUCIE, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST. LUCIE TO INCLUDE A SMALL SCALE AMENDMENT TO THE FUTURE LAND USE MAP FOR ST. LUCIE MEDICAL PARK (P16-185) TO AMEND THE BOUNDARIES OF THE EXISTING FUTURE LAND USE DESIGNATIONS OF ROI (RESIDENTIAL/OFFICE/INSTITUTIONAL) AND OSC (OPEN SPACE CONSERVATION) FOR A PARCEL LEGALLY DESCRIBED AS PORTIONS OF TRACT 1 AND TRACT 2, 1ST REPLAT OF TRACT G-5, LOCATED ON THE EAST SIDE OF SE VILLAGE GREEN DRIVE AND NORTH OF SE TIFFANY AVENUE; PROVIDING THE INVALIDITY OF ANY PORTION SHALL NOT AFFECT THE REMAINING PORTION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Lucie, Florida, has adopted a comprehensive plan known as the City of Port St. Lucie Comprehensive Plan adopted by Ordinance 00-122, as subsequently amended; and

WHEREAS, pursuant to Subsection 163.3187(1), Florida Statutes, the proposed amendment constitutes a City of Port St. Lucie permitted small scale amendment to the City of Port St. Lucie Comprehensive Plan; and

WHEREAS, the City of Port St. Lucie has received an application from Bradley J. Currie of Engineering Design and Construction, Inc., the agent for the owner, HCA Realty, Inc., (P16-185), legally described as portions of Tract 1 and Tract 2, 1st replat of Tract G-5, for a small scale amendment to change the Future Land Use Map of the City of Port St. Lucie Comprehensive Plan, in accordance with Section 163.3187 (1) (c), Florida Statutes, to amend the boundaries of the existing future land use designation of OSC (Open Space Conservation) and ROI (Residential Office Institutional) affecting approximately 1.92 acres; and

ORDINANCE 17-

WHEREAS, the City of Port St. Lucie Planning and Zoning Board having been duly designated as the local planning agency pursuant to Section 163.3174, Florida Statutes, and having held a public hearing thereon, has considered this proposed amendment (P16-185) to the Comprehensive Plan and submitted its recommendations thereon to the City Council; and

WHEREAS, the City Council held a public hearing on January 23, 2017 to consider the proposed small scale amendment, advertising of the public hearing having been made; and;

WHEREAS, having considered the recommendations of the Planning and Zoning Board, the Port St. Lucie City Council desires to hereby formally adopt this amendment (P16-185) to the City's Comprehensive Plan as a Small Scale Amendment in accordance with Section 163.3187, Florida Statutes.

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1. The Comprehensive Plan of the City of Port St. Lucie is hereby amended in the following respect:

(a) The Future Land Use Map is hereby amended to change 1.0339 acres from OSC (Open Space Conservation) to ROI (Residential Office Institutional), and 0.888 acres of ROI (Residential/Office/Institutional) to OSC (Open Space Conservation) as shown on the attached Exhibit "A".

Section 2. The provisions of the Ordinance are severable and, if any section, sentence, clause or phrase is for one reason held to be unconstitutional, invalid or

ORDINANCE 17-

ineffective, this holding shall not affect the validity of the remaining portions of this Ordinance, it being expressly declared to be the City Council's intent that it would have passed the valid portions of this Ordinance without inclusion of any invalid portion or portions.

Section 3. The effective date of this plan amendment shall be thirty-one (31) days after the adoption, pursuant to Section 163.3187(3) (c), Florida Statutes. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective.

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida, this 23rd day of January, 2017.

CITY COUNCIL

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

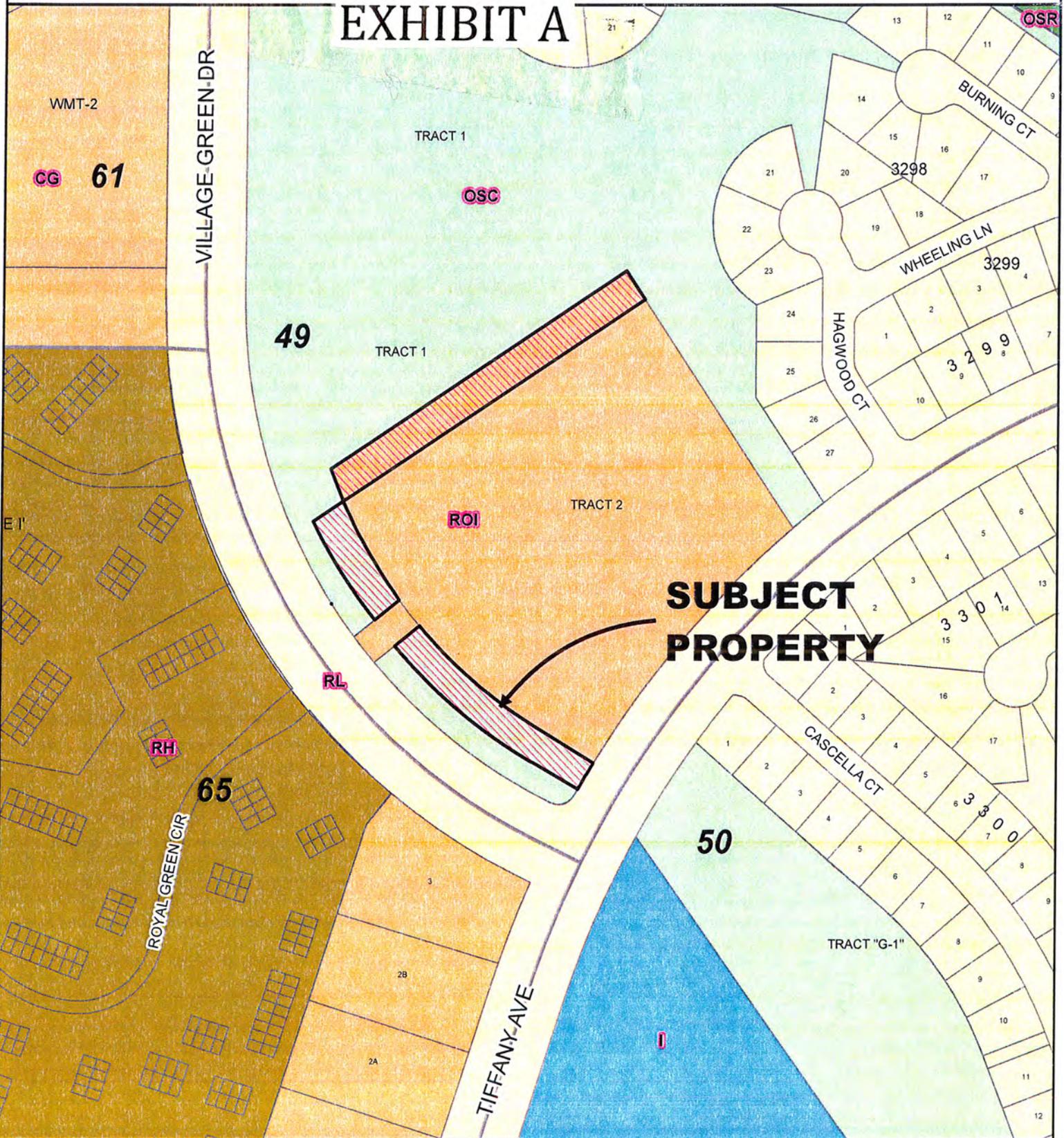
O. Reginald Osenton, City Attorney

- COMMERCIAL GENERAL
- LOW DENSITY RESIDENTIAL
- RECREATION OPEN SPACE
- INSTITUTIONAL
- HIGH DENSITY RESIDENTIAL
- CONSERVATION OPEN SPACE
- RESIDENTIAL - OFFICE - INSTITUTIONAL

PROPOSED LAND USE



EXHIBIT A



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

COMPREHENSIVE PLAN
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

DATE: 11/9/2016

APPLICATION NUMBER:
P16-185

USER:
mkohler

SCALE:
1 in = 248 ft



City of Port St. Lucie

Planning and Zoning Department Memorandum

TO: PLANNING AND ZONING BOARD- MEETING OF DECEMBER 6, 2016

FROM: THRESIAMMA KURUVILLA, PLANNER *JK*

RE: ST. LUCIE MEDICAL PARK
REZONING APPLICATION
P16-186

DATE: NOVEMBER 29, 2016

PROPOSED REQUEST: The proposed request seeks to rezone 9.97 acres of HCA property from I (Institutional) to P (Professional) and 0.888 acres of City property from I (Institutional) to RS-2 (Single Family Residential).

APPLICANT & OWNER: HCA Realty, Inc.

LOCATION: The property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue.

LEGAL DESCRIPTION: Portions of Tract 1 and Tract 2, 1st replat of Tract G-5

SIZE: 9.97 acres

EXISTING USE: There is an existing medical office building.

FUTURE LAND USE: ROI (Residential Office Institutional) and OSC (Open Space Conservation).

EXISTING ZONING: 9.97 acres of I with SEU for a clinic (Institutional/Special Exception Use) and 1.0339 acres of RS-2 (Single Family Residential).

Parcel #:	Acreage	Owner	Existing Zoning
1	8.935	HCA Realty, Inc.	I/SEU
2	0.591	City of PSL	I/SEU
3	0.151	City of PSL	I/SEU
4	0.297	City of PSL	I/SEU
5	1.0339	HCA Realty, Inc.	RS-2

PROPOSED ZONING: To rezone 9.97 acres of HCA property from I (Institutional) to P (Professional) and 0.888 acres of City property from I (Institutional) to RS-2 (Single Family Residential) to match with the correct boundary.

Parcel #:	Acreage	Owner	Proposed Zoning
1	8.935	HCA Realty, Inc.	P
2	0.591	City of PSL	RS-2
3	0.151	City of PSL	P
4	0.297	City of PSL	RS-2
5	1.0339	HCA Realty, Inc.	P

SURROUNDING FUTURE LAND USES, ZONING AND EXISTING USES:

Direction	Future Land Use	Zoning	Existing Use
N	OSC	RS-2	Drainage easement
S	OSC, RL	RS-2, OSC, I	Tiffany Ave. and beyond that houses, drainage easement, St. Lucie Hospital
E	RL, OSC	RS-2,	Drainage easement, houses
W	OSC, RH, CG	RS-2, RM-15, CG	Drainage easement, Village Green Dr. and beyond that Midport Place II condo, medical office

IMPACTS AND FINDINGS:

Land Use Consistency: The existing office building was approved in I zoning district as a Special Exception Use for a clinic per Resolution 05-R33. The applicant has applied for a site plan amendment (P16-159) for a three story medical office building expansion with 75,000 sq. ft. gross floor area and is a permissible use in P zoning. Clinic was removed from the Institutional zoning district with the zoning code rewrite early 2016.

RELATED PROJECTS: The applicant has applied for a Comprehensive Plan Amendment (P16-185) to make consistent the boundaries of the future land use designations of OSC (Open Space Conservation) and ROI (Residential Office Institutional) with the boundary of Tract 2. The applicant has applied for a site plan amendment (P16-159) for a three story medical office building expansion with 75,000 sq. ft. gross floor area and is under review process.

Sewer/Water Service: Port St. Lucie's Utility Systems is the provider of water and sewer.

Environmental: The site is cleared.

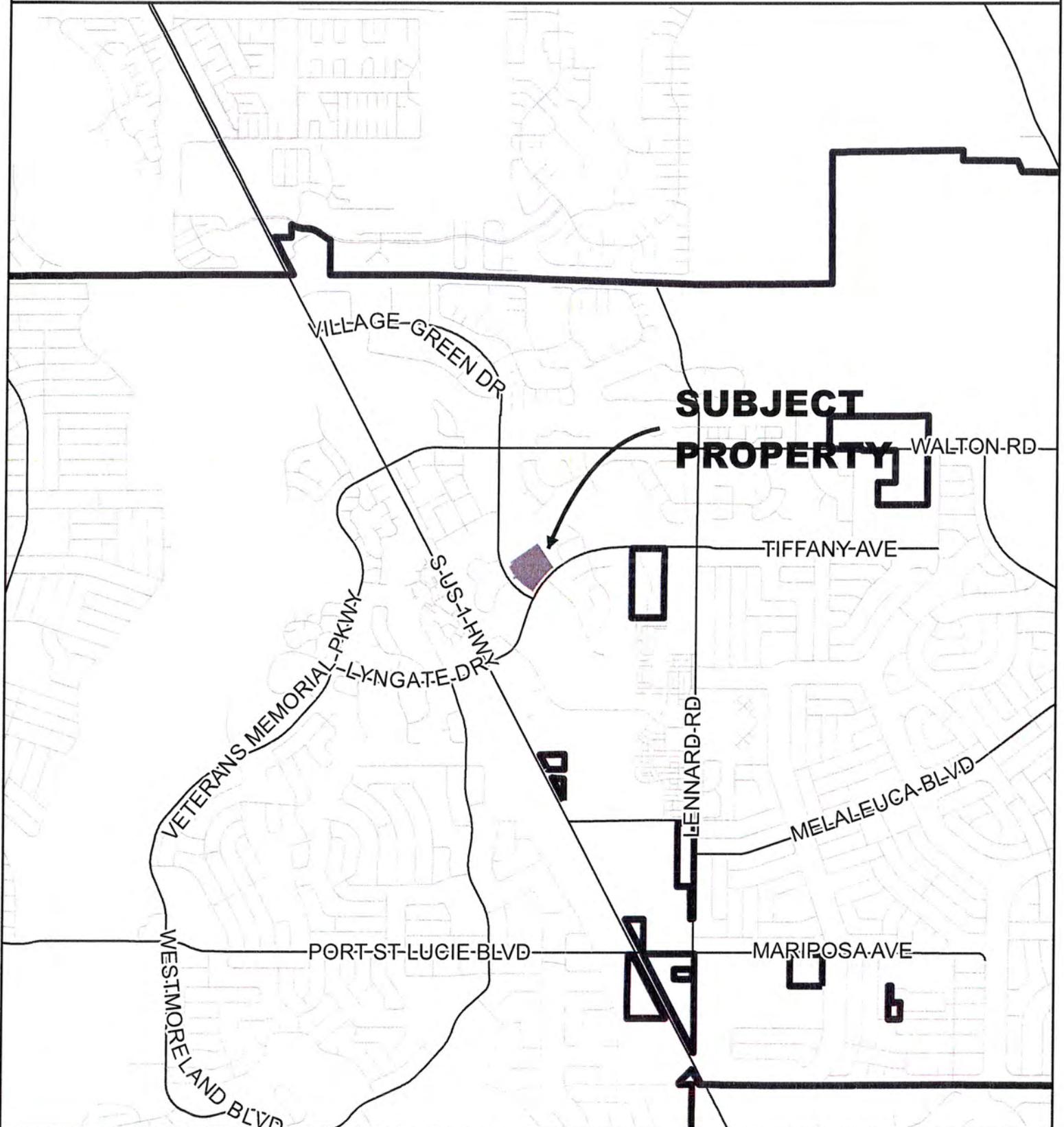
STAFF RECOMMENDATION: The Planning and Zoning Department staff finds the petition to be consistent with the intent and direction of the City's Comprehensive Plan and recommends approval based on the analysis and findings as noted in the staff report.

Planning and Zoning Board Action Options:

- Motion to recommend approval
- Motion to recommend denial

Should the Board need further clarification or information from either the applicant and/or staff, it may exercise the right to table or continue the hearing or review to a future meeting.

GENERAL LOCATION

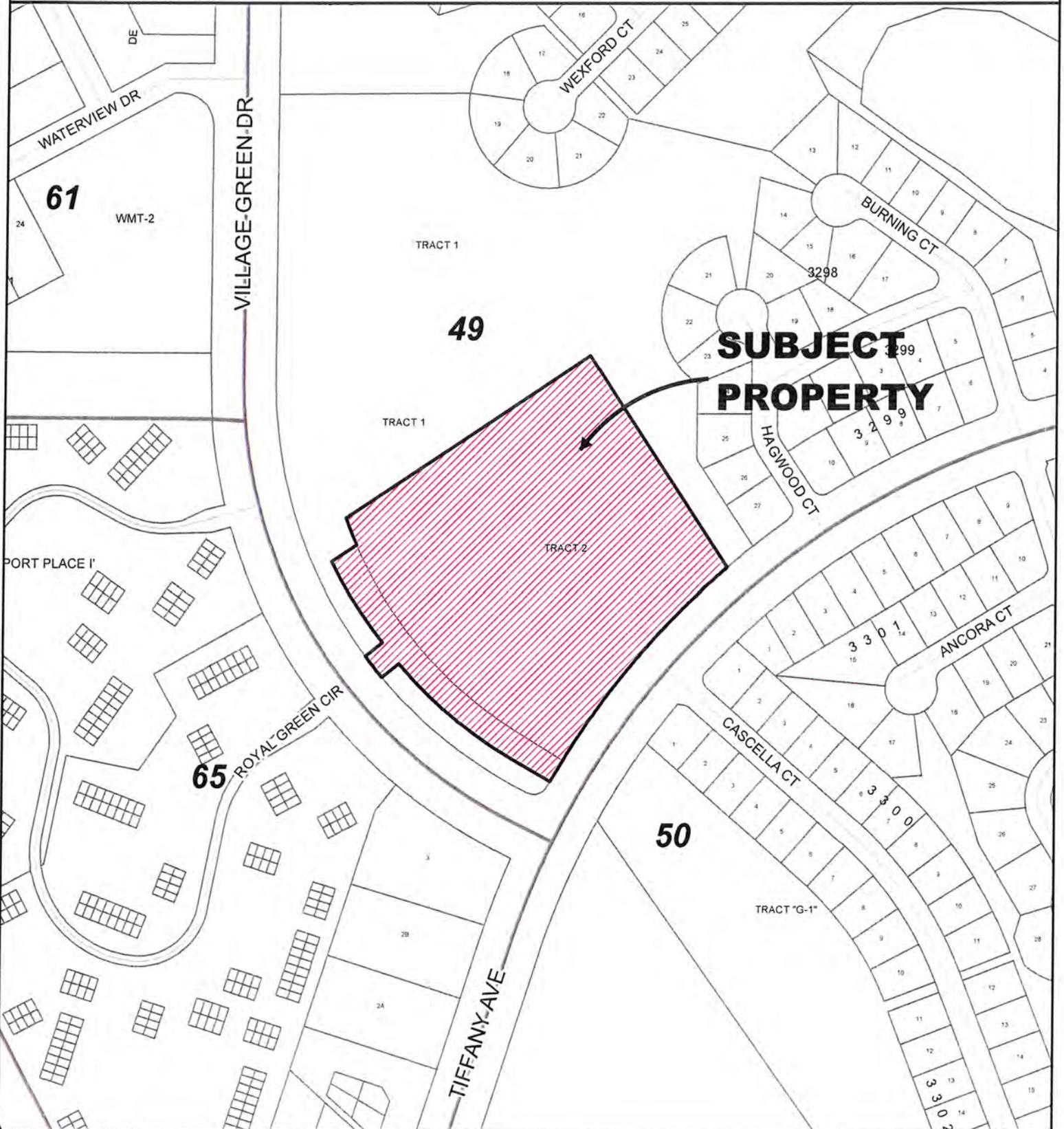


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONE
HCA REALTY/ST. LUCIE MEDICAL PARK
DESCRIPTION 2

DATE:	11/8/2016
APPLICATION NUMBER:	P16-186
USER:	mkohler
SCALE:	1 in = 0.5 miles

GENERAL LOCATION



	CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.	REZONE HCA REALTY/ST. LUCIE MEDICAL PARK TRACT 2, 1ST REPLAT TRACT G-5	DATE: 11/8/2016
			APPLICATION NUMBER: P16-186
			USER: mkohler
			SCALE: 1 in = 300 ft

AERIAL

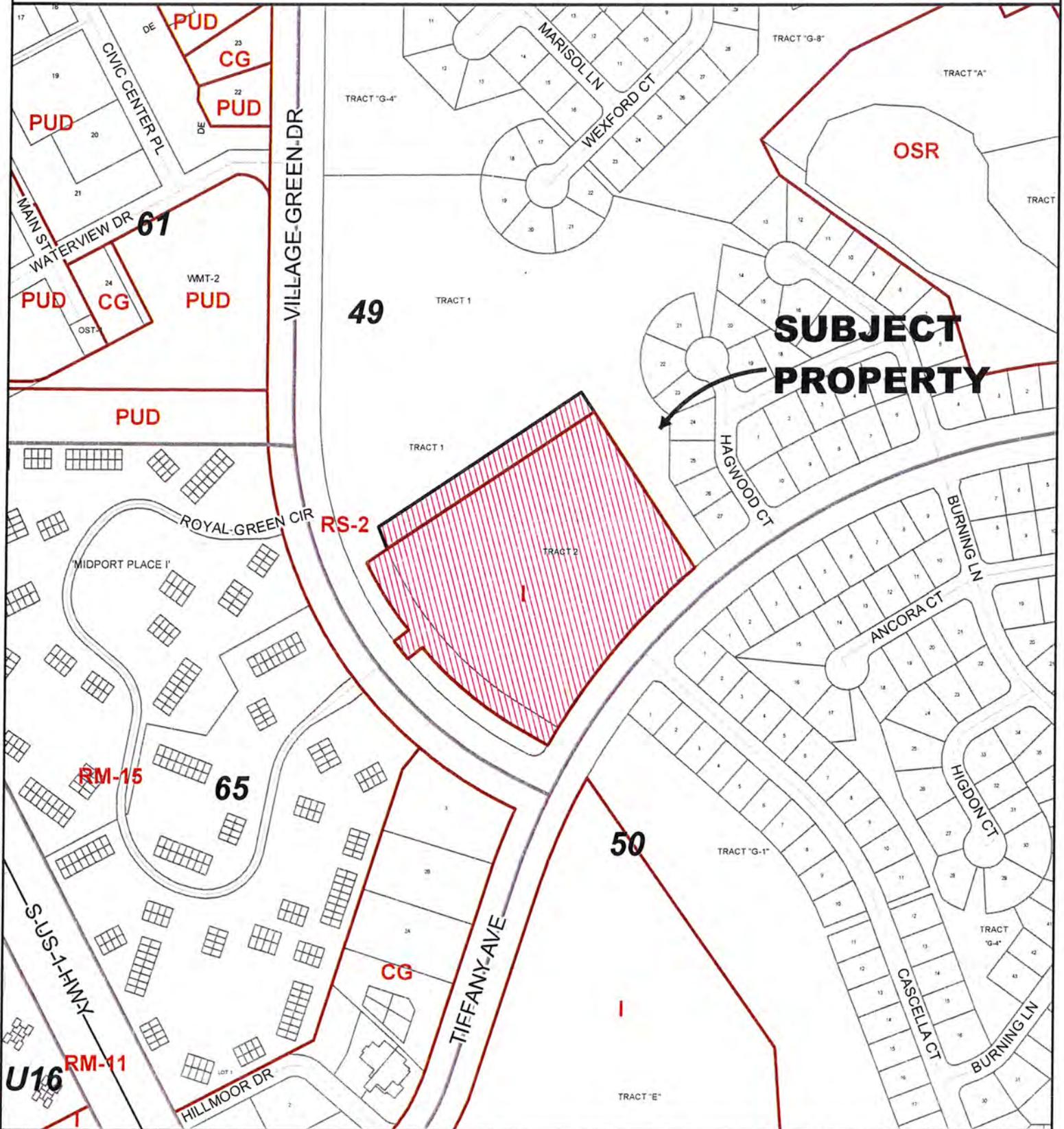


CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONE
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5
AERIAL DATE 2014

DATE: 11/8/2016
APPLICATION NUMBER:
P16-186
USER: mkohler
SCALE: 1 in = 300 ft

EXISTING ZONING

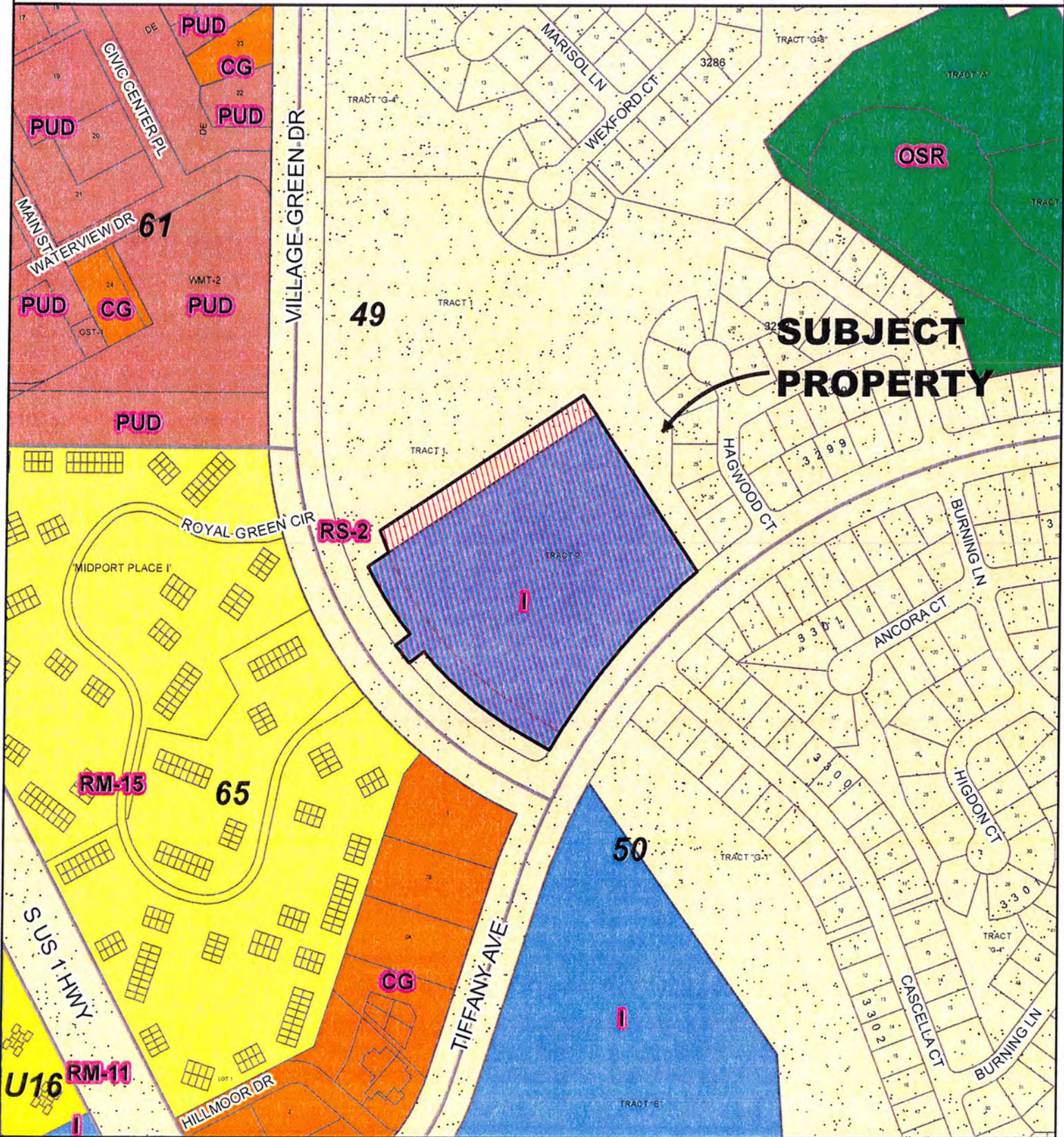


 <p>CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.</p>	<p>REZONE HCA REALTY/ST. LUCIE MEDICAL PARK TRACT 2, 1ST REPLAT TRACT G-5</p>	DATE: 11/9/2016
		APPLICATION NUMBER: P16-186
		USER: mkohler
		SCALE: 1 in = 361 ft

EXISTING ZONING

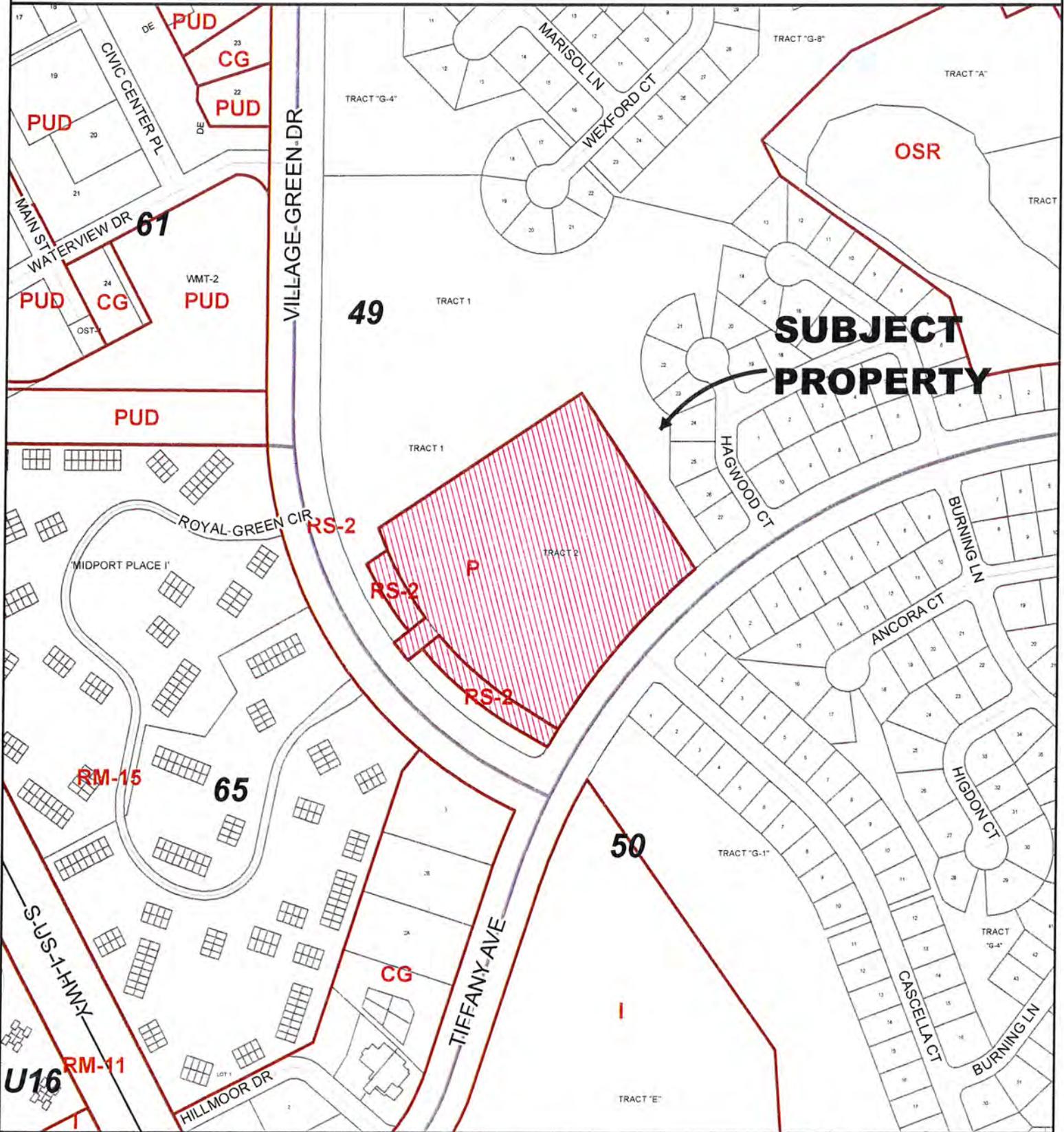


- General Commercial
- Recreation Open Space
- Medium Density Residential 11
- Institutional
- Planned Urban Development
- Medium Density Residential 15
- Single Family Residential 2



 <p>CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.</p>	REZONE	DATE: 11/9/2016
	HCA REALTY/ST. LUCIE MEDICAL PARK	APPLICATION NUMBER: P16-186
	TRACT 2, 1ST REPLAT TRACT G-5	USER: mkoehler
		SCALE: 1 in = 361 ft

PROPOSED ZONING



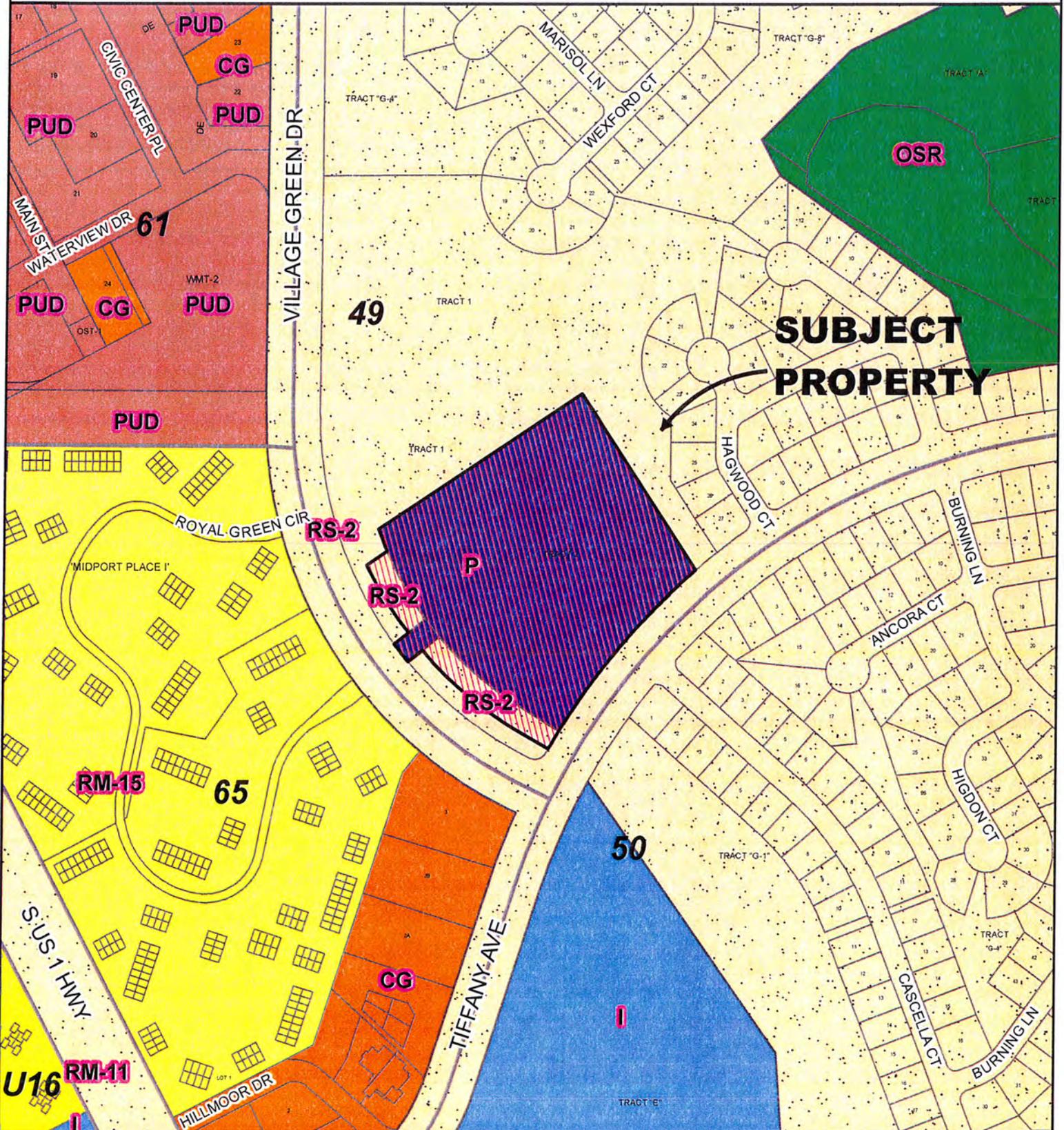
CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONE
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

DATE:	11/9/2016
APPLICATION NUMBER:	P16-186
USER:	mkoehler
SCALE:	1 in = 361 ft

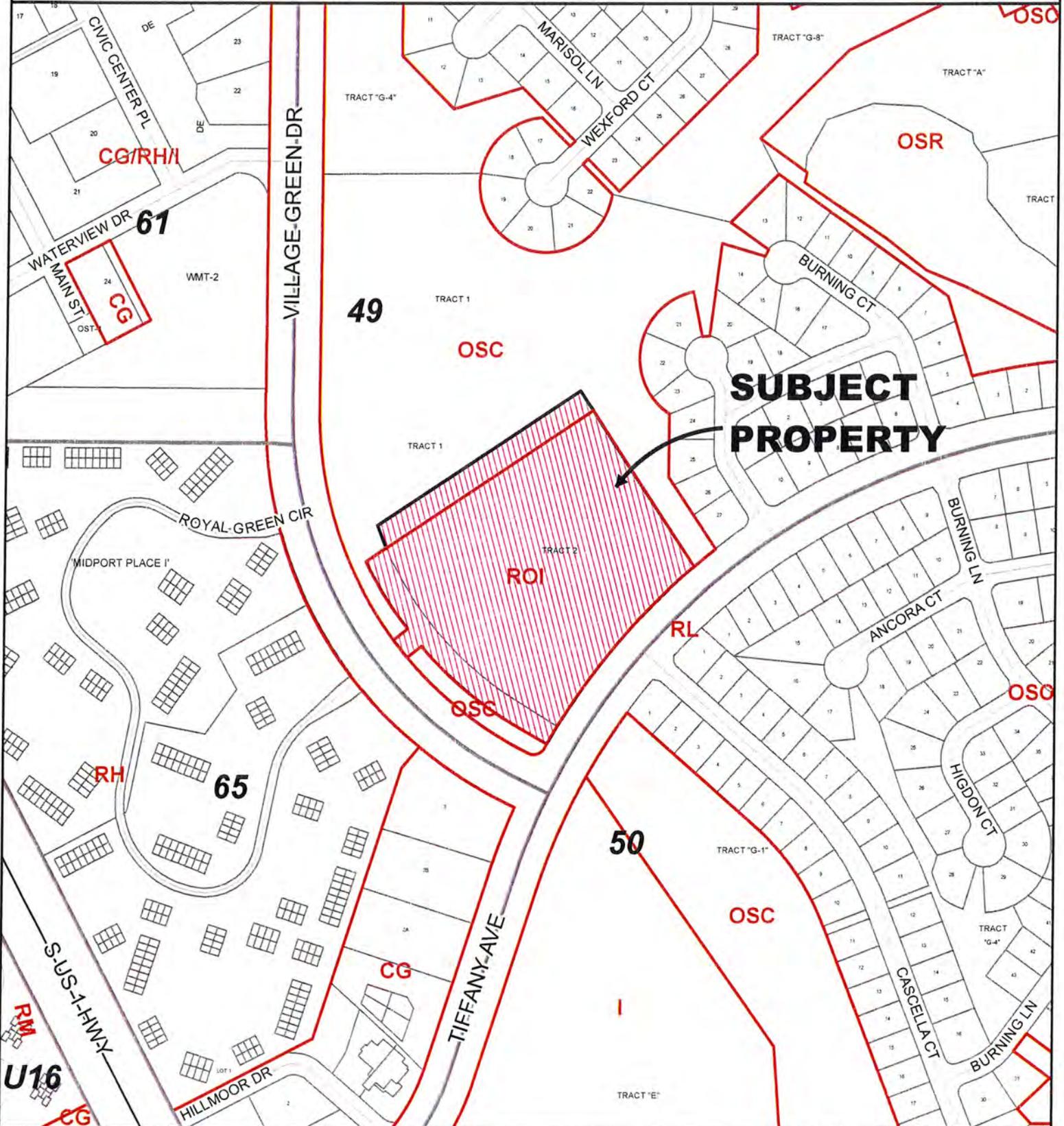
- General Commercial
- Institutional
- Recreation Open Space
- Professional
- Planned Urban Development
- Medium Density Residential 11
- Medium Density Residential 15
- Single Family Residential 2

PROPOSED ZONING



 <p>CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.</p>	REZONE	DATE: 11/9/2016
	HCA REALTY/ST. LUCIE MEDICAL PARK	APPLICATION NUMBER: P16-186
	TRACT 2, 1ST REPLAT TRACT G-5	USER: mkohler
		SCALE: 1 in = 361 ft

FUTURE LAND USE

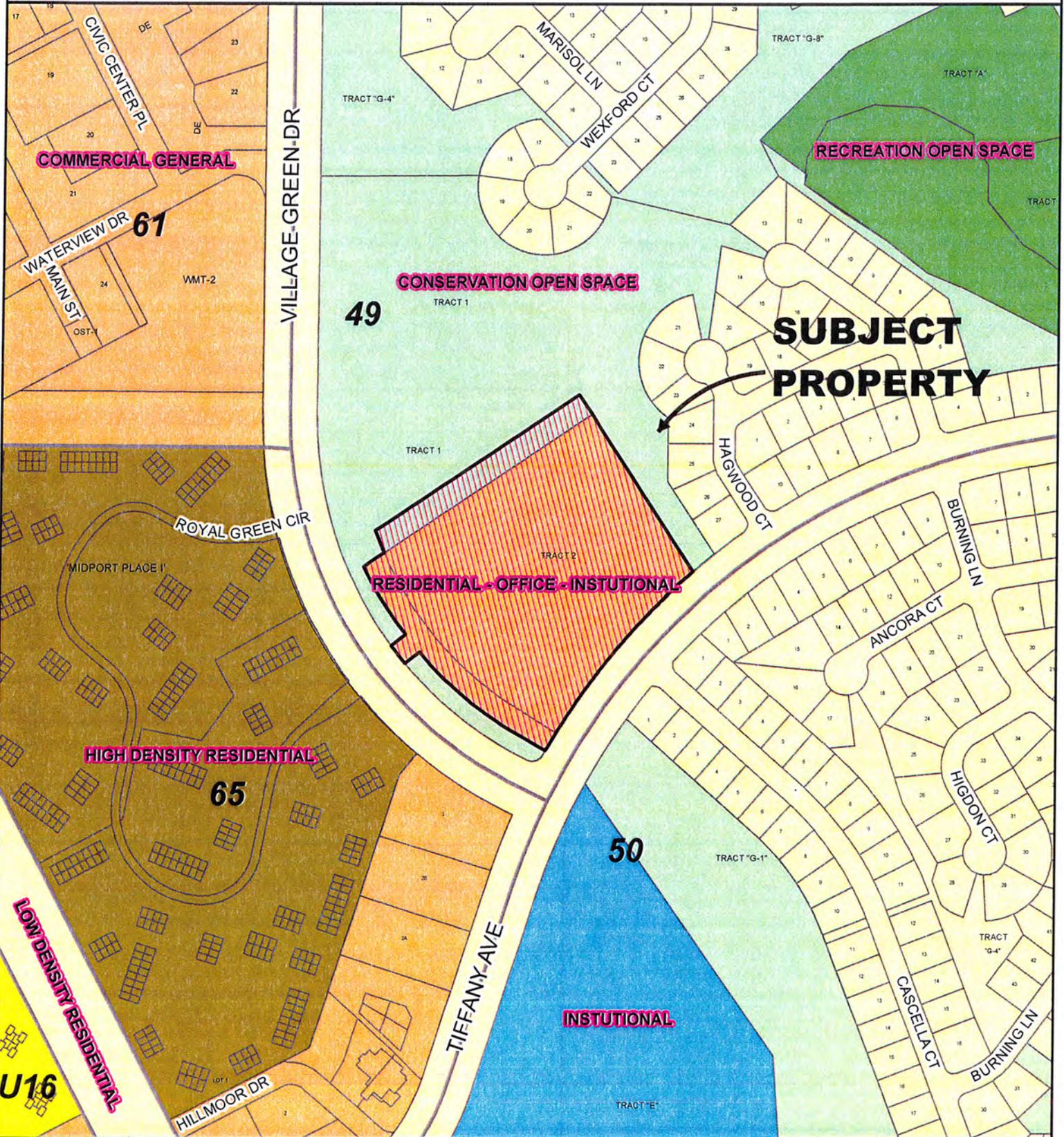


	CITY OF PORT ST. LUCIE PLANNING & ZONING DEPT.	REZONE HCA REALTY/ST. LUCIE MEDICAL PARK TRACT 2, 1ST REPLAT TRACT G-5	DATE: 11/9/2016
			APPLICATION NUMBER: P16-186
			USER: mkoehler
			SCALE: 1 in = 361 ft

FUTURE LAND USE



- COMMERCIAL GENERAL
- MEDIUM DENSITY RESIDENTIAL
- CONSERVATION OPEN SPACE
- INSTUTIONAL
- HIGH DENSITY RESIDENTIAL
- RESIDENTIAL - OFFICE - INSTUTIONAL
- LOW DENSITY RESIDENTIAL
- RECREATION OPEN SPACE



CITY OF PORT ST. LUCIE
PLANNING & ZONING DEPT.

REZONE
HCA REALTY/ST. LUCIE MEDICAL PARK
TRACT 2, 1ST REPLAT TRACT G-5

DATE:	11/9/2016
APPLICATION NUMBER:	P16-186
USER:	mkoehler
SCALE:	1 in = 361 ft

REZONING APPLICATION

CITY OF PORT ST. LUCIE
Planning & Zoning Department
121 SW Port St. Lucie Boulevard
Port St. Lucie, Florida 34984
(772) 871-5212 FAX: (772) 871-5124

FOR OFFICE USE ONLY

Planning Dept. P16-186
Fee (Nonrefundable)\$ -0-
Receipt #

Refer to "Fee Schedule" for application fee. Make checks payable to the "City of Port St. Lucie". Fee is nonrefundable unless application is withdrawn prior to the Planning and Zoning Board Meeting. **All** items on this application should be addressed, otherwise it cannot be processed. Attach proof of ownership: two copies of recorded deed. If the application includes more than one (1) lot, our Legal Department will contact you regarding execution of the required Unity of Title. Please type or print clearly in **BLACK** ink.

PRIMARY CONTACT EMAIL ADDRESS: bradcurrie@edc-inc.com

PROPERTY OWNER:

Name: HCA Realty, Inc.
Address: 2501 Park Place, Nashville, TN 37203
Telephone No.: 615-344-9551 FAX No.: N/A

AGENT OF OWNER (if any)

Name: Bradley J Currie, Engineering Design & Construction, Inc.
Address: 469 NW Prima Vista Blvd., Port St. Lucie, FL 34983
Telephone No.: 772-340-4990 FAX No.: N/A

PROPERTY INFORMATION

Legal Description: See map and attached legal descriptions.
(Include Plat Book and Page)
Parcel I.D. Number: 3420-746-0002-000-4 / 3420-746-0001-000-7
Current Zoning: Institutional / Single Family Residential
Proposed Zoning: Professional / Single Family Residential
Future Land Use Designation: OSC / ROI Acreage of Property: See Attached Cover Ltr.

RECEIVED

OCT 31 2016

PLANNING DEPARTMENT
CITY OF PORT ST. LUCIE

Reason for Rezoning Request: _____

This request is to rezone the parcels as highlighted on attached exhibits to Professional to better fit with existing and proposed uses and to update the parcels to the southwest to Single Family Residential / Professional.



*Signature of Owner



Hand Print Name

10/31/16

Date

***If signature is not that of the owner, a letter of authorization from the owner is needed.**

NOTE: Signature on this application acknowledges that a certificate of concurrency for adequate public facilities as needed to service this project has not yet been determined. Adequacy of public facility services is not guaranteed at this stage in the development review process. Adequacy for public facilities is determined through certification of concurrency and the issuance of final local development orders as may be necessary for this project to be determined based on the application material submitted.

H:\PZ\SHARED\APPLCTN\REZAPPL(06/23/11)



RECEIVED

OCT 31 2016

LETTER OF JUSTIFICATION
St. Lucie Medical Park
 Rezone Application
 October 31, 2016

PLANNING DEPARTMENT
 CITY OF PORT ST. LUCIE, FL

REQUEST

On behalf of the Petitioner, Engineering, Design, & Construction, Inc. (EDC) is requesting rezoning approval for a project to be known as St. Lucie Medical Park. The subject properties have a parcel ID number of 3420-746-0002-000-4 and 3420-746-0001-000-7. The parcels are generally located on the east side of SE Village Green Drive and north of SE Tiffany Avenue. The below table depicts the parcel ID numbers along with the existing and proposed zoning changes. Originally when approved under Ordinance 00-123, the legal description and sketch associated with the approval was incorrect. A Comprehensive Plan Amendment has been submitted concurrently with this application.

SITE CHARACTERISTICS & PROJECT HISTORY

The subject property is located on the east side of SE Village Green Drive and north of SE Tiffany Avenue in Port St. Lucie. The parcels associated with this application are identified in the below table:

Parcel #:	Parcel ID:	Owner	Address	Existing Zoning	Proposed Zoning
1	3420-746-0002-000-4	HCA Realty, Inc.	1871 SE Tiffany Ave.	I	P
2	3420-746-0001-000-7	City of PSL	1899 SE Tiffany Ave.	I	RS-2
3	3420-746-0001-000-7	City of PSL	1899 SE Tiffany Ave.	I	P
4	3420-746-0001-000-7	City of PSL	1899 SE Tiffany Ave.	I	RS-2
5	3420-746-0002-000-4	HCA Realty, Inc.	1871 SE Tiffany Ave.	RS-2	P

Parcel #:	Acreage
1	8.935
2	0.591
3	0.151
4	0.297
5	1.0339

In 2001, Ordinance 00-123 approved the rezoning of a 9.97 acre parcel to allow for the development medical offices associated with St. Lucie Medical Center. The legal and sketch associated with this Ordinance was not correct. Pursuant to discussions with City staff, it was recommended that the applicant submit an application to rezone their property along with the adjacent parcels which were impacted by the incorrect legal and sketch associated with Ordinance 00-123.

The tables below outline the existing and proposed zoning categories for each parcel associated with this application.

ENGINEERING DESIGN & CONSTRUCTION, INC
 CIVIL ENGINEERS & SURVEYORS SPECIALIZING IN LAND DEVELOPMENT

FORT PIERCE OFFICE
 1934 Tucker Court, Fort Pierce, FL 34950
 ph:(772) 462-2455 fx: (772) 462-2454

PORT ST. LUCIE OFFICE
 469 NW Prima Vista Blvd, Port St. Lucie, FL 34983
 ph:(772) 340-4990 fx:(772) 340-7996



To the north of the parcels lies conservation open space currently owned by the City of Port St. Lucie. This tract of land has a Future Land Use Designation of Conservation Open Space (OSC) and an underlying zoning category of Single Family Residential.

To the west of the subject property lies a tract of land that runs adjacent to the site which is owned by the City of Port St. Lucie. The property is currently vacant and has a future land use designation of Conservation Open Space (OSC) and Residential – Office Institutional (ROI) and is located in the Single Family Residential zoning district. West of the City owned property lies the 150' Right-of-Way for SE Village Green Drive followed by Midport Place II, a single family residential community. This development has a Future Land Use Designation of High Density Residential and an underlying zoning category of Multiple Family Residential.

Southwest of the property lies the 150' Right-of-Way of SE Village Green Drive followed by medical office buildings. These buildings have a Future Land Use Designation of Commercial General and an underlying zoning category of General Commercial.

To the south of the subject property lies the 140' Right-of-Way of SE Tiffany Avenue followed by St. Lucie Medical Center. The southern property has a future land use designation of Institutional and an underlying zoning category of Institutional

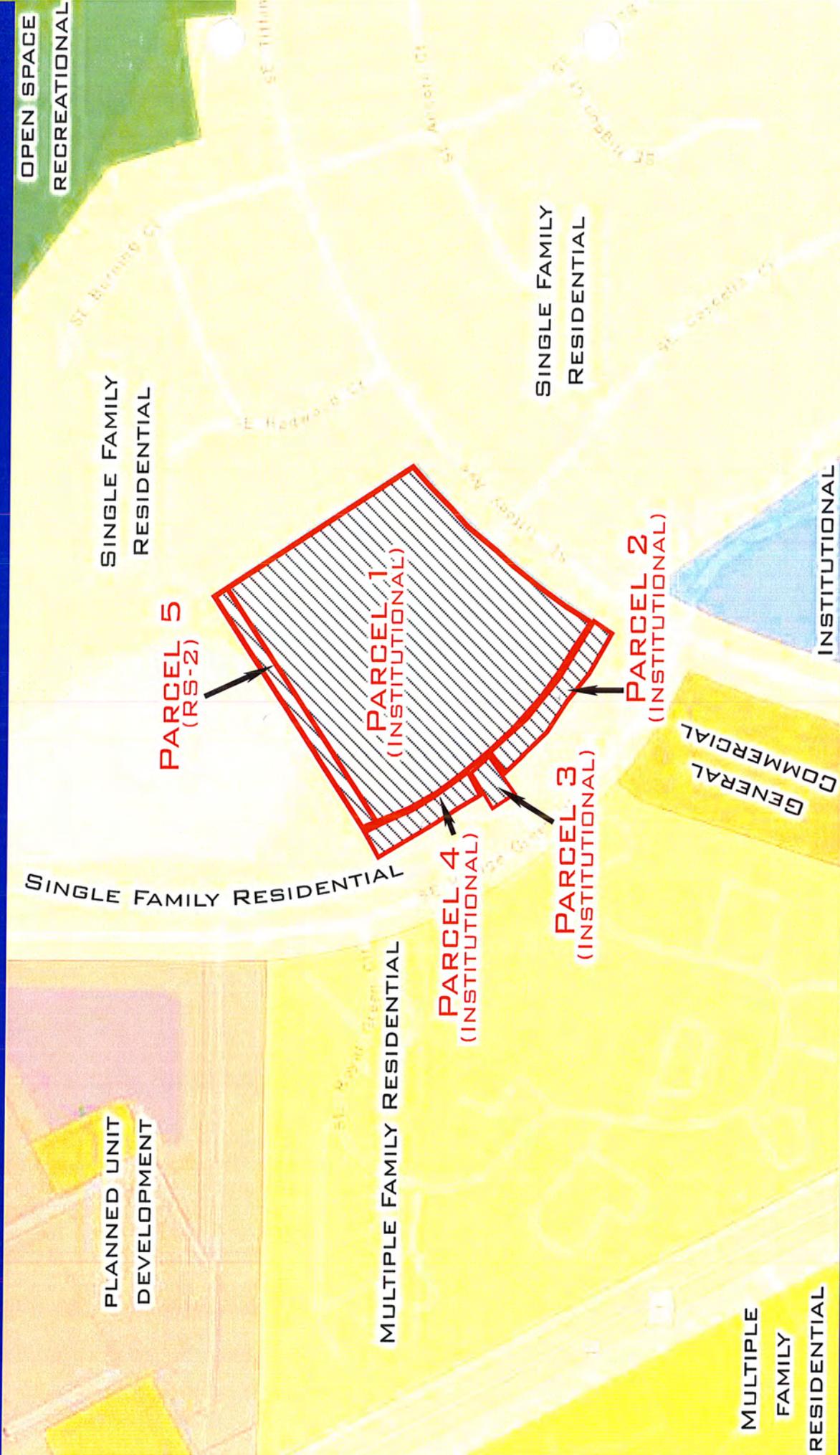
Southeast of the subject property lies the 140' Right-of-Way of SE Tiffany Avenue followed by single family residential homes which have a Future Land Use Designation of Low Density Residential and an underlying zoning category of Single Family Residential.

To the East of the subject property lies a Conservation Tract owned by the City of Port St. Lucie followed by single family residential homes. The government owned property has a Future Land Use Designation of Conservation Open Space (OSC) and an underlying zoning category of Single Family Residential. East of that, the single family homes have a Future Land Use Designation of Low Density Residential and an underlying zoning category of Single Family Residential.

Based on the above and attached information, the applicant respectfully request approval of the proposed application.

S:_Project Files\16-115 - HCA - St. Lucie Medical Park\EDC Documents\Submittal Documents\Justification Statement\2016-10-31_SL_Med_Rezone_Justification_Statement_16-115.doc

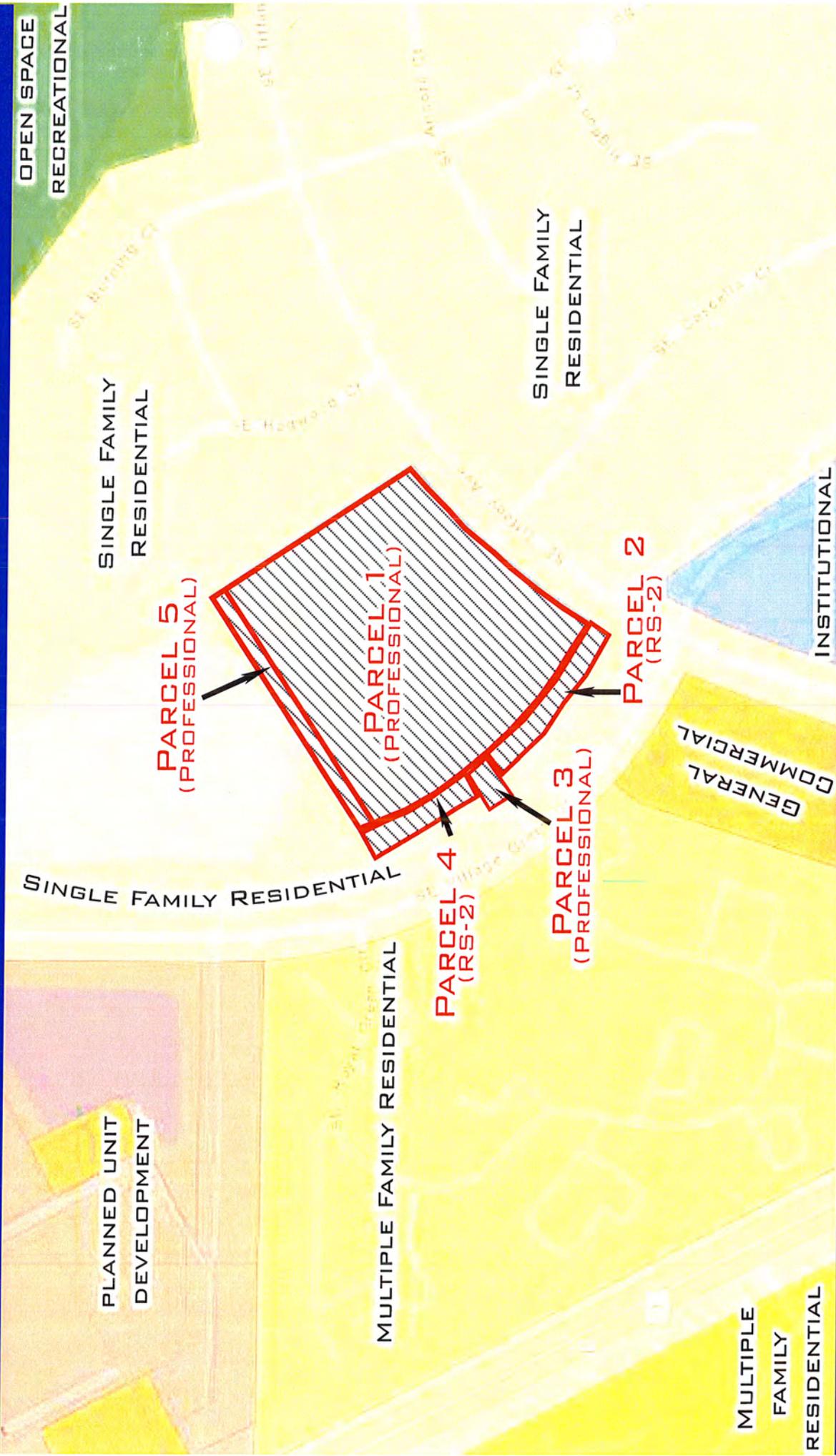
EXISTING ZONING MAP



ST. LUCIE MEDICAL PARK REZONE



PROPOSED ZONING MAP



ST. LUCIE MEDICAL PARK REZONE

JOANNE HOLMAN, CLERK OF THE CIRCUIT COURT - SAINT LUCIE COUNTY
File Number: 1882004 OR BOOK 1363 PAGE 169
Recorded: 02/12/01 14:14

Ret to: SLW Box 2# Doc ASSUMP: \$ 0.00
Universal Land Title Debt Tax : \$ 10,500.00
* Int Tax : \$ 0.00

PREPARED BY AND RETURN TO:

David N. Sowerby, Esquire
MELVILLE & SOWERBY, P.L.
2490 South 25th Street
Fort Pierce, Florida 34981
Courthouse Box #63
01060237
PARCEL ID. NO. Portion of 3420-745-0007-000-6

[Space Above This Line For Recording Date]

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made and executed this 9th day of February, 2001, by and between CITY OF PORT ST. LUCIE, FLORIDA, a municipal corporation, (hereinafter "Grantor"), and HCA REALTY, INC., a Tennessee corporation, whose post office address is 2501 Park Plaza, Nashville, TN 37203 (hereinafter "Grantee").

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's heirs and assigns forever, the following described land, situate, lying and being in the County of St. Lucie, State of Florida, to wit:

TRACT 2 of the FIRST REPLAT OF TRACT G-5, as recorded in Plat Book 39, Pages 28 and 28A of the Public Records of St. Lucie County, Florida.

Subject To restrictions, reservations and easements of record, if any, which are not reimposed hereby, and real estate taxes subsequent to December 31, 1999.

The property conveyed herein shall be subject to the following restrictive covenant. To wit:

For a period of ten (10) years from the date of this Deed, development and use of the Property shall be limited to medical care facilities and ancillary improvements related to the use and operation of medical care facilities. For a period of twenty (20) years from the date of this Deed, neither the Property, nor any portion thereof, shall be rezoned except for the limited purpose of facilitating construction of medical care facilities and ancillary improvements related to the use and operation of medical care facilities. These restrictive covenants shall run with the land and shall be enforceable by the City Council of the City of Port St. Lucie, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

OR BOOK 1363 PAGE 170

(Space Above This Line For Recording Date)

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor warrants the title to said land and will defend the same against the lawful claims of all persons claiming by or through grantor.

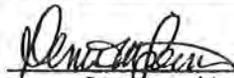
IN WITNESS WHEREOF, the Grantor has hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered
in the presence of:

CITY OF PORT ST. LUCIE, FLORIDA
a municipal corporation

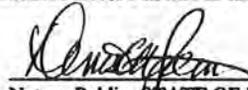

Print Name: MARGARET MCGRATH

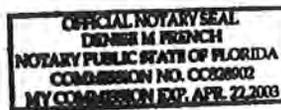
By: 
ROBERT E. MINSKY, Mayor


Print Name: DENISE M FRENCH

STATE OF FLORIDA
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me, this 9th day of February, 2001, by ROBERT E. MINSKY, as Mayor of the CITY OF PORT ST. LUCIE, FLORIDA, a municipal corporation, who is personally known to me, or who produced his driver's license as identification.


Notary Public, STATE OF FLORIDA
My Commission Expires:



HCA REALTY INC.
ATTN: TAX DEPT.
PO BOX 1504
NASHVILLE, TN 37202

AGENT CONSENT FORM

Project Name: SAINT LUCIE MEDICAL PARK SITE PLAN AMENDMENT

Parcel ID: 3420-746-0002-000-4

BEFORE ME THIS DAY PERSONALLY APPEARED Nicholas L. Paul, WHO
BEING DULY SWORN, DEPOSES AND SAYS THE FOLLOWING:

I hereby give CONSENT to Engineering Design & Construction, Inc. to act on my behalf, to submit or have submitted applications and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining all City, County and State permits for completion of the project indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application for the proposed use of a commercial development.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 27 day of July, 2016, by Nicholas L. Paul (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Helen W. Cook
(Signature of Person Taking Acknowledgement)

Helen W. Cook
(Name of Acknowledger Typed, Printed or Stamped)

Notary
(Title or Rank)

My Commission Expires
March 6, 2018

(Serial Number, if any)



Nicholas L. Paul
Owner's Signature

Nicholas L. Paul, Vice President of
HCA Realty, Inc.
Owner's Name (Print)

One Park Plaza
Street Address
Nashville, TN 37203
City, State, Zip Code

(615) 344-2190
Telephone

Thresiamma Kuruvilla

From: Thomas Mullin <TMullin@nasonyeager.com>
Sent: Wednesday, November 23, 2016 1:41 PM
To: Thresiamma Kuruvilla
Subject: RE: ordinance

No changes. Approved.
Thanks.

Thomas Mullin

Attorney at Law

Email: tmullin@nasonyeager.com

Tel: 561-982-7114 | Fax: 561-982-7116

[Profile](#) [vCard](#)



750 Park of Commerce Blvd., Suite 210 | Boca Raton | FL | 33486
www.nasonyeager.com

The information contained in this transmission is attorney privileged and confidential. It is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you receive this communication in error, please notify us immediately by telephone (collect) and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for postage and/or telephone expenses.

Think Green! Please do not print this e-mail unless absolutely necessary.

From: Thresiamma Kuruvilla [mailto:TKuruvilla@cityofpsl.com]
Sent: Monday, November 21, 2016 2:55 PM
To: Thomas Mullin <TMullin@nasonyeager.com>
Subject: ordinance

Pl see draft ordinance for P16-186 St. Lucie Medical Park Rezoning. This is scheduled for Dec 6 P&Z Board meeting.
Thanks, Thres

Thresiamma Kuruvilla, Planner (B.Sc Eng., M.T.P.)
Planning and Zoning Department
City of Port St. Lucie
121 SW Port St. Lucie Blvd.
Port St. Lucie, FL 34984
772-871-5281 (Direct Phone) 772 871 5213 (Office)
772-871-5124 (Fax)
TKuruvilla@cityofpsl.com

How is my service? Please contact Bonnie R. Cruz at Bonniec@cityofpsl.com to submit your suggestions, comments and feedback.

ORDINANCE 17-

AN ORDINANCE TO REZONE 9.97 ACRES OF PROPERTY FROM INSTITUTIONAL (I) TO PROFESSIONAL (P) AND 0.888 ACRES OF INSTITUTIONAL (I) TO RS-2 (SINGLE FAMILY RESIDENTIAL) FOR A PROJECT KNOWN AS ST. LUCIE MEDICAL PARK (P16-186) FOR A PARCEL LOCATED ON THE EAST SIDE OF SE VILLAGE GREEN DRIVE AND NORTH OF SE TIFFANY AVENUE AND LEGALLY DESCRIBED AS PORTIONS OF TRACT 1 AND TRACT 2, 1ST REPLAT OF TRACT G-5; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Bradley J. Currie of Engineering Design and Construction, Inc., the agent for the owner, HCA Realty, Inc., seeks to rezone 9.97 acres of HCA property from I (Institutional) to P (Professional) and 0.888 acres of City property from I (Institutional) to RS-2 (Single Family Residential); and

WHEREAS, the City of Port St. Lucie Planning and Zoning Board held a public hearing on the December 6, 2016, to consider the rezoning application (P16-186), notice of said hearing to adjoining property owners for a radius of seven hundred and fifty (750) feet having been given and advertising of public hearing having been made; and

WHEREAS, the City Council held a public hearing on January 23, 2017, to consider the rezoning application (P16-186), advertising of the public hearing having been made; and

NOW, THEREFORE, THE CITY OF PORT ST. LUCIE HEREBY ORDAINS:

Section 1: That the property described as portions of Tract 1 and Tract 2, 1st replat of Tract G-5 be rezoned from I (Institutional) to P (Professional) and RS-2 (Single Family Residential).

PASSED AND APPROVED by the City Council of the City of Port St. Lucie, Florida,

this ____ day of _____ 2017.

CITY OF PORT ST. LUCIE, FLORIDA

BY: _____
Gregory J. Oravec, Mayor

ATTEST:

Karen A. Phillips, City Clerk

APPROVED AS TO FORM:

BY: _____
O. Reginald Osenton, City Attorney