

# **City of Port St. Lucie Citywide Design Standards**



**City of Port St. Lucie  
Planning & Zoning Department  
Developed in Conjunction with  
Thomas Lucido & Associates, P.A.  
and Florida Architects, Inc.**

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Revised by Ordinance 09-038 (04/13/09)**

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# CITYWIDE DESIGN STANDARDS

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# I. Introduction

## Background

A successful city is a rewarding place to live and visit, a place that makes a citizen proud to call home. It must provide a sense of identity and uniqueness that allows businesses to prosper and residents to thrive. Incorporated in 1961, the City of Port St. Lucie is experiencing changes and pressures related to growth. The population could potentially double within the next 25 years. The City is taking important measures to see that the city develops in a sensible, orderly, and aesthetically pleasing way by addressing development by both public and private sectors. The implementation and administration of design standards is one of the ways in which the City can facilitate the development of a desirable growth pattern by the private sector.

The adoption of the Citywide Design Standards in 1997 had a profound and dramatic impact on the quality of development throughout the City. Almost immediately commercial development began to exhibit a more unique character, giving the City a sense of place, which was lacking before the passage of any design standards. The requirement for all new commercial and institutional developments to incorporate articulation and other architectural elements (such as clock towers, arcades, and cupolas) into their elevations has resulted in more attractive and better-designed buildings, which have enhanced the community. At the 10-year anniversary of the Citywide Design Standards, the Planning and Zoning Department revisited these design standards to ensure that they are still effective in creating a rewarding place to live, work, and shop. To help answer this question, a workshop was set up for the public at large as well as with local professionals. Interviews were set up with professionals and public representatives to discuss the strengths and weaknesses of the current document. Once all this information was tabulated, City representatives began the process of reviewing each section of the existing design standards. Through collaboration with Lucido and Associates and Donadio and Associates, Architects, P.A., staff finalized the changes to this document which will take the City to the next step as it strives to become a city with community pride, one which its citizens are proud to call home.



Pennzoil Lube (1994) was designed before the passage of the Citywide Design Standards. This building is lacking articulation, as well as other architectural elements, which creates a building devoid of any character.

*Figure 1*



The Promenade @ Riverwalk was designed (2002) with adherence to the Citywide Design Standards. This building shows both horizontal and vertical articulation, and includes other architectural elements (e.g., an arcade and bell tower) which give the building character.

*Figure 2*

## **Design Standards**

The design standards articulated in this manual address development located in areas designated with the Future Land Use classifications of ROI (Residential/Office/Institutional), CL (Commercial Limited), CS (Commercial Service), CG (Commercial General), RM (Residential-Medium Density), RH (Residential-High Density), CH (Commercial Highway), LI (Light Industrial), HI (Heavy Industrial), and I (Institutional). These standards are intended to promote the development of a sense of place by improving the visual quality of the built environment and to foster economic development opportunities that will benefit the city's future. Whereas the City's zoning standards govern quantitative site planning issues, the standards articulated in this manual are performance-oriented and are based on improving the quality of the environment. St. Lucie West, Tradition, Southern Groves, Western Groves, and City Center PUD are exempt from these standards since these master planned areas adopted other design standards with their inception. Also exempt from these design standards are historic buildings as identified in the Historic Properties Survey. Other master planned areas with a NCD future land use may be exempt with the adoption of independent design standards.

These design standards are not intended to stifle imagination nor to curtail variety, but to promote a more attractive and unified pattern of development as growth continues over the next several decades. This will require that certain types of development adhere to a common set of design principles. Following these basic principles can improve the city's image, preserve taxable values, and promote the public health, safety, and welfare as the city expands.

## **Goals**

- Implement performance-oriented design standards to enhance the appearance of development within the City through the evaluation of architectural features, articulation, building siting, lighting, and signage.
- Expand the Citywide Design Standards to include additional Future Land Uses.
- Make a positive and memorable statement to residents, merchants, developers, and visitors.
- Improve the function/aesthetics and safety of circulation systems (pedestrian, vehicular, bicycle, and mass transit).
- Encourage water conservation and energy efficiency through “green” building practices and site design.

## **II. Application and Review Process**

**Submit Design Drawings and Site Plans to the City's Planning and Zoning Department.**

**In addition to the items required for Site Plan Approval in the Land Development Regulations, the following additional items must also be submitted for review and comment:**

### **A. Submittal Requirements**

Submit sixteen (16) sets of required drawings which include a site plan, architectural elevations of all sides of any proposed building(s), sign locations and elevations, and exterior lighting locations and standards. Building elevations shall include a list of selected design elements. Elevations shall indicate building and roof form, windows, doors, materials/colors (include samples in color "spec" or "cut" sheets), and all other architectural details. Provide an exhibit with color photographs of buildings on adjacent properties. All submittals shall include the appropriate fee as found in the Planning and Zoning Department Fee Schedule. Note: The additional landscaping and sign standards articulated in these standards are more restrictive than other City codes.

### **B. Staff Review**

Staff will review drawings and provide written comment at the Site Plan Review Committee (SPRC) meeting. The SPRC will review the plans and make recommendation. Upon SPRC recommendation, the application will be scheduled for review by the Planning and Zoning Board and/or City Council as required by City ordinance.

Note: These standards are a supplement to the existing site plan review standards. For projects requiring a Florida registered architect pursuant to State regulations, final plans shall be signed and sealed. Signed and sealed plans by an architect are not required when submitting preliminary conceptual drawings, but may be required in order to obtain building permits.

### **C. Revisions to Approved Plans**

Revisions of approved plans that don't require a site plan amendment may be reviewed and considered for approval administratively by the Zoning Administrator. A cover letter, one set of plans, checklist, and associated fees shall be submitted. The Zoning Administrator may refer the request to the Site Plan Review Committee for a recommendation to the City Council for final approval.

Revisions that require a site plan amendment shall follow the review process as outlined in Section 158.237(C) and (D) of the Zoning Code. Submittal requirements shall be as set forth in Section II (A).

D. Variance to Standards

Variance applications shall be considered in accordance with Chapter 158.295-302 of the Zoning Code.

E. Exceptional Architectural Design Option

Alternate design standards may be considered based on exceptional design. The intent is not to prohibit innovative and creative design. Proposals will only be considered in conjunction with a PUD zoning or PUD amendment application. The following criteria shall be addressed:

- Logic of design
- Exterior space utilization
- Attractiveness
- Materials selection
- Compatibility with surrounding properties
- Circulation and parking – vehicular and pedestrian
- Accepted architectural principles
- Design minimizes environmental impact
- Walkability
- Livability
- Conservation (water/energy)
- Multi-modal transportation design

Applications shall include the following:

- Letter addressing all of the above criteria
- Fee (in the sum of a PUD rezoning or amendment and exceptional architectural design option fees)
- Color elevations
- Perspective color drawings
- PowerPoint presentation on CD addressing the criteria above with 3D images.
- PUD rezoning or amendment application

In the PUD document, one section shall be dedicated to exceptional architectural design option. The Exceptional Architectural Design Option application will be reviewed in conjunction with Section 158.170-183 of the Zoning Code.

F. Requests to the Planning and Zoning Department for final site inspection shall be accompanied by an architect's original signed and sealed letter of compliance.

G. Removal or Destruction of Non-Conforming Structures

When any non-conforming building or structure is removed from the premises, is destroyed, or is otherwise destroyed to an extent equal to or exceeding 50% of the replacement cost, both the premise and any building or structure erected or maintained thereon shall conform in all respects to the regulations and requirements of the Citywide Design Standards.

### **III. Definitions**

Arcade - A line of arches on piers or columns, either freestanding or as part of a wall. Usually a covered walkway lined with shops or offices on one or both sides.

Arches - Curved construction spanning an opening and supported by structural members. Arches vary in shape from horizontal flat through semicircular and semi-elliptical shapes to pointed arch shapes.

Arbor - A light open structure, self-supporting lattice framework, or closely planted trees and shrubs twined together.

Articulation - A joining together of various elements to express an overall idea or concept. The use of detail to convey meaning. Offset of flat walks to provide visual relief.

Bahama Shutter - A single vertical exterior window covering hinged at the top, made from framed horizontal louvers.

Bell Tower - A tall slender structure, either independent or part of a building, containing one or more bells.

Building Line - The line established to set the forward limit of buildings on a parcel.

Buffer - Screening element composed of vegetation, topography, and sometimes a wall or fence.

Canopy - A roof element, hood, or covering suspended over a door, window, or niche. A covered area which extends from the wall of a building.

Clock Tower - A tall slender structure, either independent or part of a building, containing one or more functional clocks.

Cornice - Exterior trim of a structure at the meeting of the roof and wall, usually projecting out from the wall to throw rainwater clear of the structure.

Cupola - Small tower on roof.

Diameter Breast Height (DBH) - Diameter of a tree trunk measured at 4.5' above grade.

Display Window - Window used for merchandising goods or services, typically lit from the interior and with exterior architectural detailing.

Façade - Principal face or front of a building.

Finish Floor Elevation – The position of the lower horizontal surface of the ground floor along a vertical scale.

Frieze - A visually rectangle or square 'tablet', often bearing a figure or ornament in relief and affixed to a structure.

Foundation Planting - Plant materials placed in close proximity to building base, located in planting beds arranged to complement the building elevations and visually connect the building to the landscape.

Free Standing Sign - Primary identification sign not attached to a building, but to a support structure, usually in front of a building.

Gable - A vertical triangular wall shape at the end of a structure.

Green Roof – The roof of a building that is partially or completely covered with vegetation and soil, or a growing medium, planted over a waterproofing membrane. This does not refer to roofs which are merely colored green, as with green roof shingles. It may also include additional layers such as a root barrier and drainage and irrigation systems.

Green Wall – A wall, either freestanding or part of a building, that is partially or completely covered with vegetation and, in some case, soil or an inorganic growing medium. They are also referred to as living walls, biowalls, or vertical gardens.

Groundcover - Low-growing plants (24" maximum at maturity), other than turf, planted to form a continuous cover on the ground.

Hedge - Close planting of shrubs maintained to form a dense, compact, visually opaque barrier.

Hip - A junction of two sloping roofs or sides of a roof.

Irrigation - Provision of water by artificial means.

Island - Landscape area that divides continuous rows of parking spaces.

Landscaping - Vegetation including sod, groundcovers, shrubs, trees, palms, vines, as well as non-living material like rocks, pebbles, mulch, etc.

Loggia - An arcade or colonnade structure, open on one or more sides.

Mansard - A roof having a double slope on all four sides, the lower slope having a much steeper slope.

Medallion - Usually an oval or circular 'tablet', often bearing a figure or ornament in relief and affixed to a structure.

Monument Sign - Major project identification sign designed on pedestal base.

Parapet - A low guarding wall such as at the roofline of a structure.

Peaked Roof - A roof with two or more slopes that rises to a single ridge or point.

Picket Railing - Perimeter railing using vertical members between columns and horizontal top and bottom rail support members.

Pitched Roof - A single sloped roof with a pitch greater than 10 degrees.

Portico - A covered drop-off, porch, or covered walkway supported by columns on at least three sides.

Right-of-way - Public land set-aside for public traverse or drainage.

Sculptured Artwork - The art of fashioning figures or objects of wood, clay, metal, or stone by molding, carving, casting, or welding.

Setback line- An imaginary line running parallel to a front, side, or rear property line and establishing the edge of a yard or open area in which no building structure or use may be placed or established.

Special paving - Interlocking pavers or bricks, etc., that are distinct from monolithic surfaces and call attention to entry areas, crosswalks, etc.

Square Column - A vertical supporting member with a square or rectangular shaped shaft.

Streetscape - Physical street environment, comprised of architectural elements, landscape, street furniture, etc.

Stucco - A textured exterior finish made from Portland cement, lime, and sand mixed together with water and other binders.

Tree - Self-supporting woody plant which at maturity grows to a minimum 15'-0" overall height with a DBH of 3" or more, with one main stem or trunk and many branches.

Typeface - Letter style.

Vegetation - Any plant species with geographic distribution indigenous to or introduced to all or part of Florida.

Vertical Window - An opening with proportions such that the horizontal width is less than the vertical height.

# IV. Design Standards

## A. General Requirements

1. Building Orientation – The main entrance(s) of a building shall be oriented toward the primary street front or the side of the property. Orientation of the main entrance(s) toward the rear of the property is prohibited.
2. Building Configuration – Buildings shall be grouped or clustered on parcels having more than one building.
3. Building Length - Length of buildings will be reviewed on a case-by-case basis. If the building is found to be excessive in length, greater articulation shall be required.
4. Drive-Throughs - Drive-throughs shall not be located between a primary collector/arterial street and a building. If there is no other option, the drive-through shall be completely screened from view from the street by a continuous screen of vegetation having a height of six feet at time of planting.
5. Pedestrian and Vehicular Connections and Access - Pedestrian and vehicular connections shall be provided between adjacent parcels and buildings. Cross-access agreement(s) shall be obtained by adjacent property owners.

Interior sidewalks and/or pedestrian facilities shall inter-connect all buildings with existing or future public sidewalks. Stub-outs shall be provided for designated future public sidewalks.

A single point of vehicular access shall be provided along the primary street frontage, or the minimum driveway separation requirements shall apply. One additional access is permitted if the parcel abuts an adjacent side or rear street and if the requirements of the Zoning Code and/or Conversion Manual have been met.

6. Building/Parking Location - Parking is encouraged to be located along the rear and/or side of a building. Parking located along the front of building is permitted provided that at least one additional architectural element as articulated in Chapter V of this document is included in the design of the building.
7. Bike Racks – Each building shall provide a bike rack within 25’ of the main entrance.
8. Mass Transit Accommodations – Non-residential buildings greater than 75,000 square feet and residential developments greater than 100 units shall provide at least one bus shelter per development. The bus shelter design shall compliment the architectural style of the buildings. Other developments shall be reviewed for a drop-off/pick-up location on a case-by-case basis.
9. Useable Open Space - Each site shall provide 0.5% of the total site as useable open space in the form of pedestrian courtyards, plazas, greens, or squares. Useable open space shall be defined by the use of pedestrian amenities such as benches, public art, fountains, water features, or

gazebos. The useable open space shall function as a place for recreation or leisure time enjoyment.

10. Rezoned Properties - Design standards shall apply to proposed new buildings and undeveloped property located within conversion areas where a change of zoning is being requested, but implemented at time of site plan review.
11. Existing Single Family Homes/Model Homes – The conversion of a single family home to a commercial or non single family use may be permitted provided the Design Standards are met. The conversion may require significant renovation. The removal of houses from conversion areas is preferred.
12. Rehabilitated or Remodeled Structures – Design standards shall apply to all properties undergoing redevelopment when the sum of all building costs is 50% or more than the appraised value of the building.

## **B. Building Design Standards – Commercial Limited (CL), Commercial General (CG), Commercial Highway (CH), Residential-Office-Institutional (ROI), Institutional (I)**

### 1. Façade Design

#### a. Prohibited Façade Features and Materials

- large, blank, unarticulated walls
- corrugated metal siding/butler buildings
- plastic siding, plastic laminates
- unpainted concrete block/plain concrete walls
- plywood
- corrugated fiberglass
- square, box-like buildings without articulation of windows or façade

#### b. Articulation

Provide varying wall offsets and other architectural features to create horizontal and vertical building articulation. A minimum wall offset of 5 feet is required to achieve horizontal façade articulation. A minimum vertical distance of 2 feet between façade elements is required to achieve vertical articulation. Requirements for the articulation of façades shall apply to the front and sides of all buildings. Articulation of the rear of a building will be reviewed on a case-by-case basis, i.e., location, surrounding uses, and visibility. On the following page, Figure 3 depicts unacceptable building articulation while Figure 4 depicts acceptable vertical and horizontal articulation.

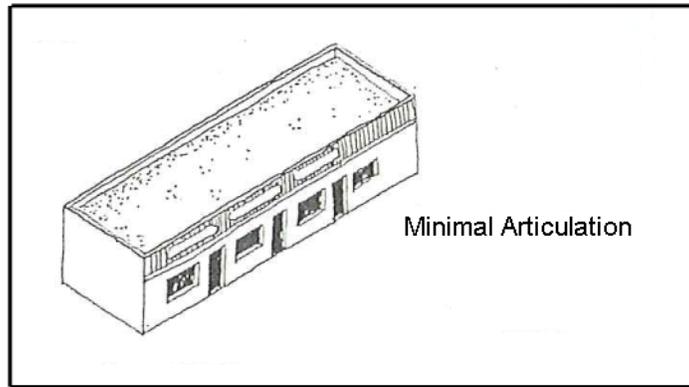


Figure 3

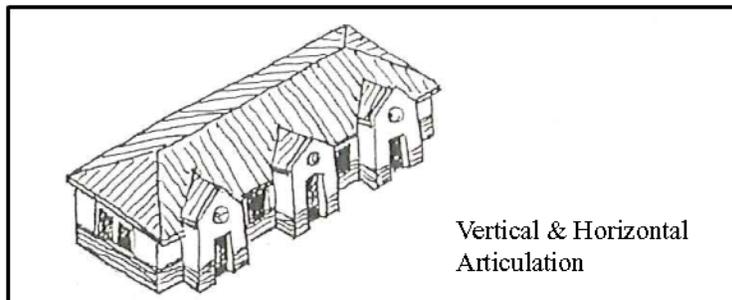


Figure 4

- c. Out Parcels – All façades of buildings located on out parcels shall be considered primary façades and shall therefore require façade and roof articulation on all sides. Architectural, site, and landscaping design elements shall be consistent with the design elements of the primary building with which the out parcel is associated.

## 2. Roof Design

### a. Sloped Roofs

1. Roof height shall not exceed the average height of the supporting walls.
2. The average slope shall be greater than or equal to 1 foot of vertical rise for every three (3) feet of horizontal run. See Figure 5.
3. The average slope shall be less than or equal to 1 foot of vertical rise for every one (1) foot of horizontal run. See Figure 5.

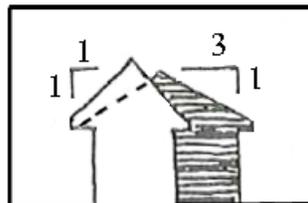


Figure 5

Proposed buildings shall incorporate at least 2 of the following roof elements or features:

- Eaves that overhang a minimum of 24" with a minimum fascia depth of 8". See Figure 6.

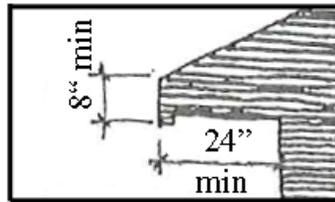


Figure 6

- Three or more roof slope planes per primary façade. See Figure 7.

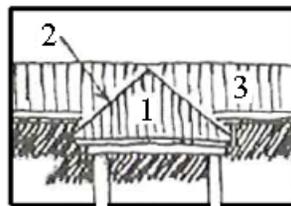


Figure 7

- An additional vertical change in roof height (minimum 24" change in elevation). See Figure 8.

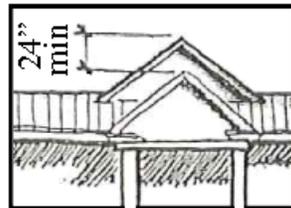


Figure 8

- Dormers or other additional roof elements facing primary street frontage. See Figure 9.

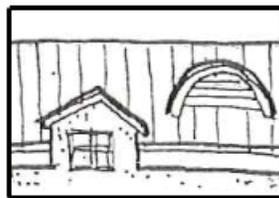


Figure 9

- A porch, portico, arcade, or other similar element located at the main building entrance(s). See Figure 10.

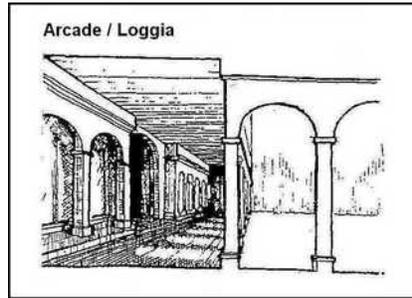


Figure 10

b. Prohibited Roof Materials/Elements

- Asphalt shingles (except laminated, 320 lb., 30 year architectural grade shingles or better).
- Mansard roofs/canopies without roof articulation using faux gables, dormers, etc.
- Backlit awnings used as a mansard or canopy roof.
- Brightly colored glazed tile.

- c. Flat Roof - Equipment on roof shall not be visible from an elevation that is horizontal to the location of the roof equipment. Figure 11 depicts unacceptable roof articulation.

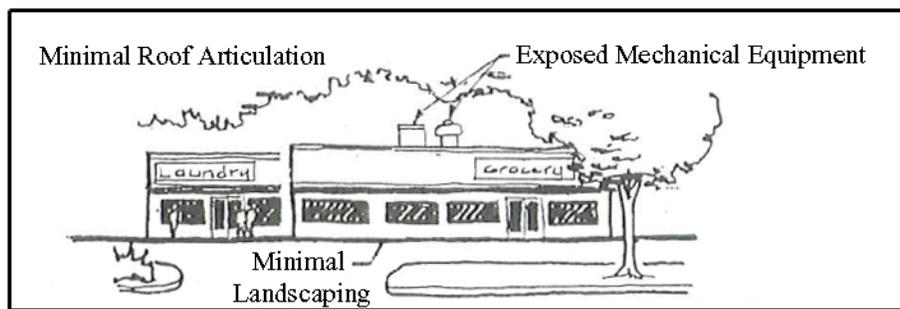


Figure 11

Flat roofs may be used provided that two of the following conditions are met:

- Peaked or pitched roof elements shall cover at least 50% of the length of a façade facing the primary street frontage. Mansard roofs and/or cornices (minimum 12" in height with a minimum of 3 reliefs. See Figure 12.) may be counted toward meeting 25% of the required horizontal length. Peaked or pitched roof elements shall cover at least 25% of the sides of a building.

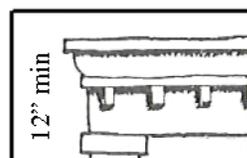


Figure 12

- A porch, portico, arcade, or other similar element shall be located at the main entrance(s). See Figure 13.

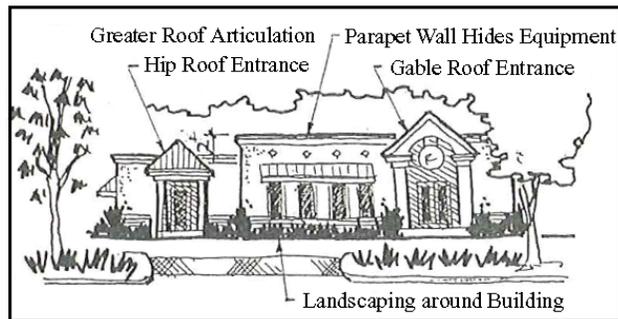


Figure 13

- A green roof covering at least 75% of the roof area. A parapet or railing shall be provided.
- d. Color (façade, trim, and roof) – Should be used to highlight architectural forms and details, but not to create them. The color relationship between adjacent buildings should be complimentary, but not identical.
1. Pastel, soft muted, and earth tone colors are permitted as indicated by the approved colors on page 27.
  2. Dark and bright colors shall be prohibited.

### 3. Architectural Style

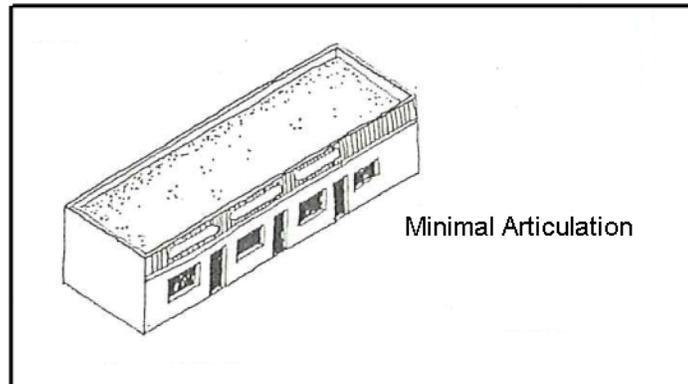
The applicant is required to select five (5) elements from Section V, page 17, Architectural Elements. The building elevations shall locate and list selected design elements. If parking is located in front of the building, add one additional architectural design element. Architectural illustrations are included in Chapter VI. See Figures 20 and 21.

## C. Building Design Standards – Light Industrial (LI), Heavy Industrial (HI), Commercial Service (CS)

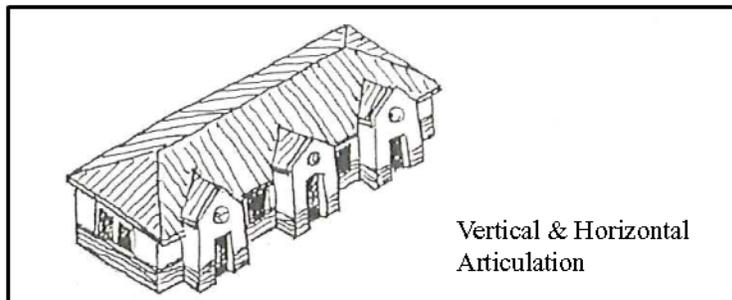
### 1. Façade Design

- a. Prohibited Façade Features and Materials
- large, blank, unarticulated walls facing the primary street
  - plastic siding, plastic laminates
  - unpainted concrete block/plain concrete walls
  - plywood
  - corrugated fiberglass

- b. Articulation – Provide varying wall offsets and other architectural features to create horizontal and vertical building articulation. Requirements for the design articulation of façades shall apply to the walls facing the primary street. Figure 14 depicts unacceptable building articulation while Figure 15 depicts acceptable vertical and horizontal articulation.



*Figure 14*



*Figure 15*

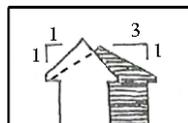
- c. Color (façade, trim, and roof) – Should be used to highlight architectural forms and details, but not to create them. The color relationship between adjacent buildings should be complimentary, but not identical.

1. Pastel, soft muted, and earth tone colors are encouraged.
2. Dark tones as well as glaring bright colors shall be avoided.

## 2. Roof Design

### a. Sloped Roof

1. Roof height shall not exceed the average height of the supporting walls.
2. The average slope shall be greater than or equal to 1 foot of vertical rise for every 3 feet of horizontal run. See Figure 16.
3. The average slope shall be less than or equal to 1 foot of vertical rise for every one (1) foot of horizontal run. See Figure 16.



*Figure 16*

- b. Flat Roof - Equipment on roof shall not be visible from an elevation that is horizontal to the location of the roof equipment. Flat roofs may be used provided that a porch, portico, arcade, or other similar element shall be located at the main entrance(s). Figure 17 depicts unacceptable roof articulation.

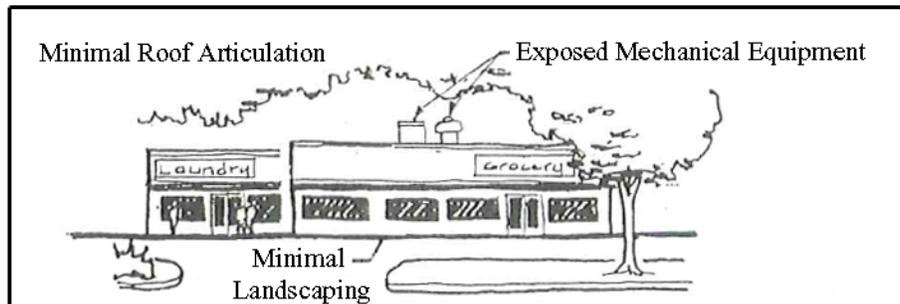


Figure 17

- c. Green (Vegetative) Roof - A green roof covering at least 75% of the roof area. A parapet or railing shall be provided.
- d. Prohibited Roof Materials/Elements
- Asphalt shingles (except laminated, 320 lb., 30 year architectural grade shingles or better).
  - Mansard roofs/canopies without roof articulation using faux gables, dormers, etc.
  - Backlit awnings used as a mansard or canopy roof.
  - Brightly colored glazed tile.

### 3. Architectural Style

The applicant is required to select three (3) elements from Section V, page 17, Architectural Elements. The building elevations shall locate and list selected design elements. If parking is located in front of the building, add one additional architectural design element. Architectural illustrations are included Chapter VI. See Figures 20 and 21.

## D. Building Design Standards – Medium Density Residential (RM), High Density Residential (RH)

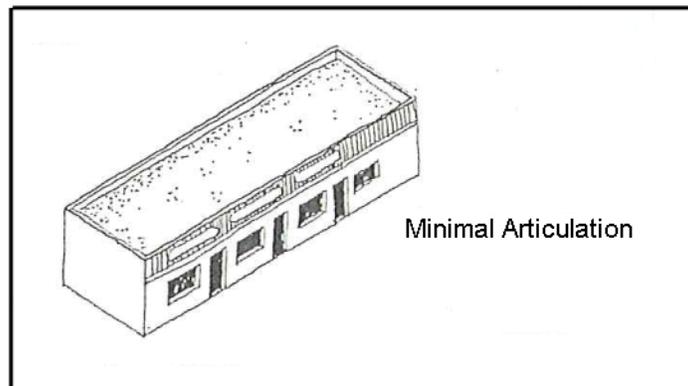
### 1. Façade Design

#### a. Prohibited Façade Features and Materials

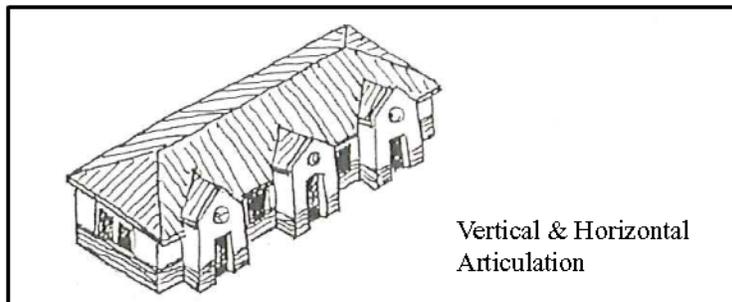
- large, blank, unarticulated walls
- corrugated metal siding
- unpainted or unstained concrete block/plain concrete walls
- reflective glass
- plywood
- corrugated fiberglass
- square, box-like, buildings without articulation of windows or façade

b. Articulation – Provide varying wall offsets and other architectural features to create horizontal and vertical building articulation. Requirements for the articulation of façades shall apply to the front, sides, and rear of all buildings.

- Front – A minimum wall offset of 5 feet is required to achieve horizontal façade articulation for the front of the building. No more than two contiguous townhouse dwellings shall be built in a row with a common building line and the minimum difference in building line setback to provide variation shall be 5 feet.
- Sides and Rear – Horizontal or vertical articulation, such as framed windows, balconies, covered porches, or wall offsets, shall be provided. Figure 18 depicts unacceptable building articulation while Figure 19 depicts acceptable vertical and horizontal articulation.



*Figure 18*



*Figure 19*

## 2. Architectural Style

The applicant is required to select four (4) elements from Section V, page 17, Architectural Elements. The building elevations shall locate and list selected design elements. If parking is located in front of the building, add one additional architectural design element. Architectural illustrations are included Chapter VI. See Figures 20 and 21.

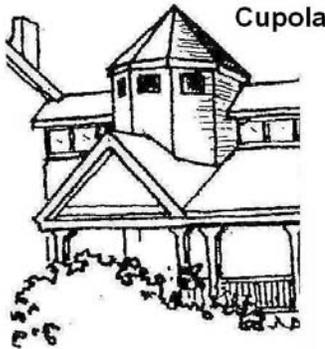
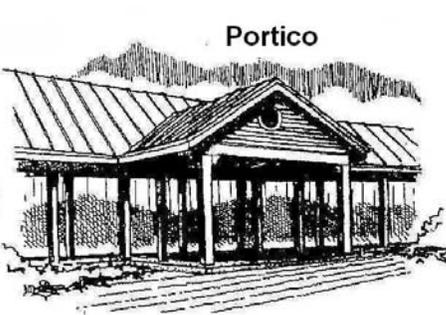
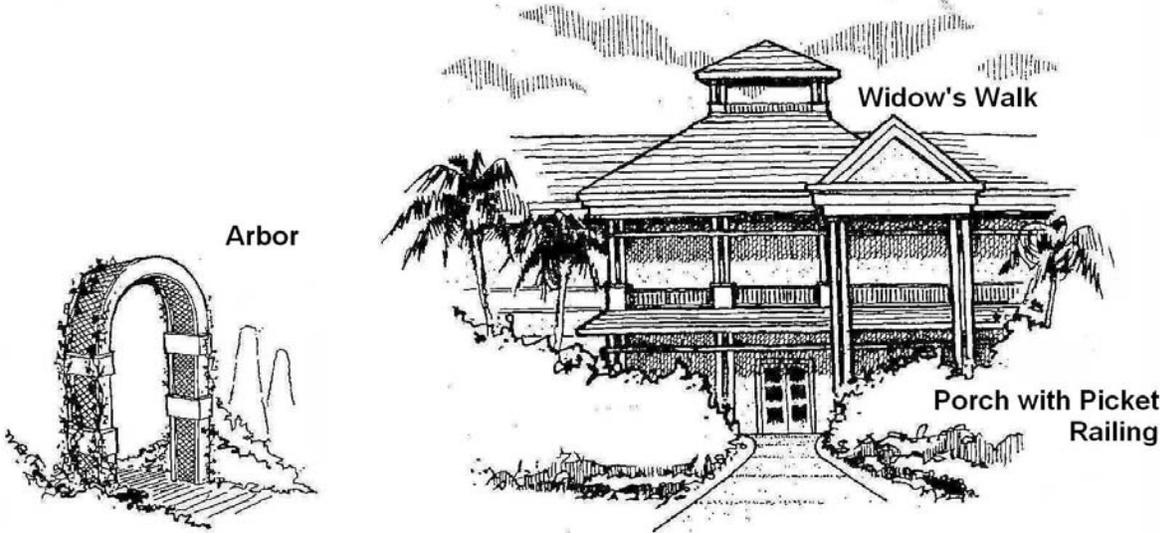
## V. Architectural Elements

These elements are intended to promote aesthetically pleasing architectural styles. The applicant shall illustrate selected elements or features on the required elevation drawings. See Figures 20 and 21 for examples.

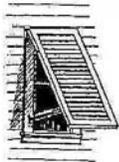
- a. Predominantly vertical, rectangular, windows
- b. Lightly stained/painted wood in a horizontal pattern
- c. Arbor
- d. Clock tower
- e. Bahama shutters
- f. Square columns
- g. Porch with picket railing
- h. Arcade/loggia
- i. Cupola
- j. Dormer
- k. Metal or green roof (75% minimum)
- l. Green walls (covering western and eastern walls, each 25% minimum)
- m. Widow's walk
- n. Lattice detailing
- o. Ornamental open work or work in relief (fretwork)
- p. Stone or pavers at project entry, drop-off, or pedestrian crossing (330 sf. minimum)
- q. Pedestrian courtyard or plaza (300 sf. minimum)
- r. Canopy
- s. Portico/Porte cochere
- t. Sculpture or other public art
- u. Raised cornice over doors and windows
- v. Arches
- w. Display windows
- x. Bell tower
- y. Weather vane (residential only)
- z. Frieze/medallion

If parking is located in front of the building, add one additional architectural design element and a 25% increase in landscaping where parking abuts frontage.

# VI. Illustrations: Architectural Elements



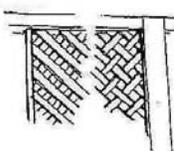
Bahama Shutters



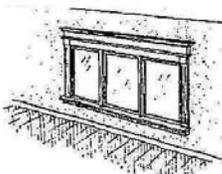
Canopy



Lattice



Display Window



Frieze/ Medallion



Figure 20

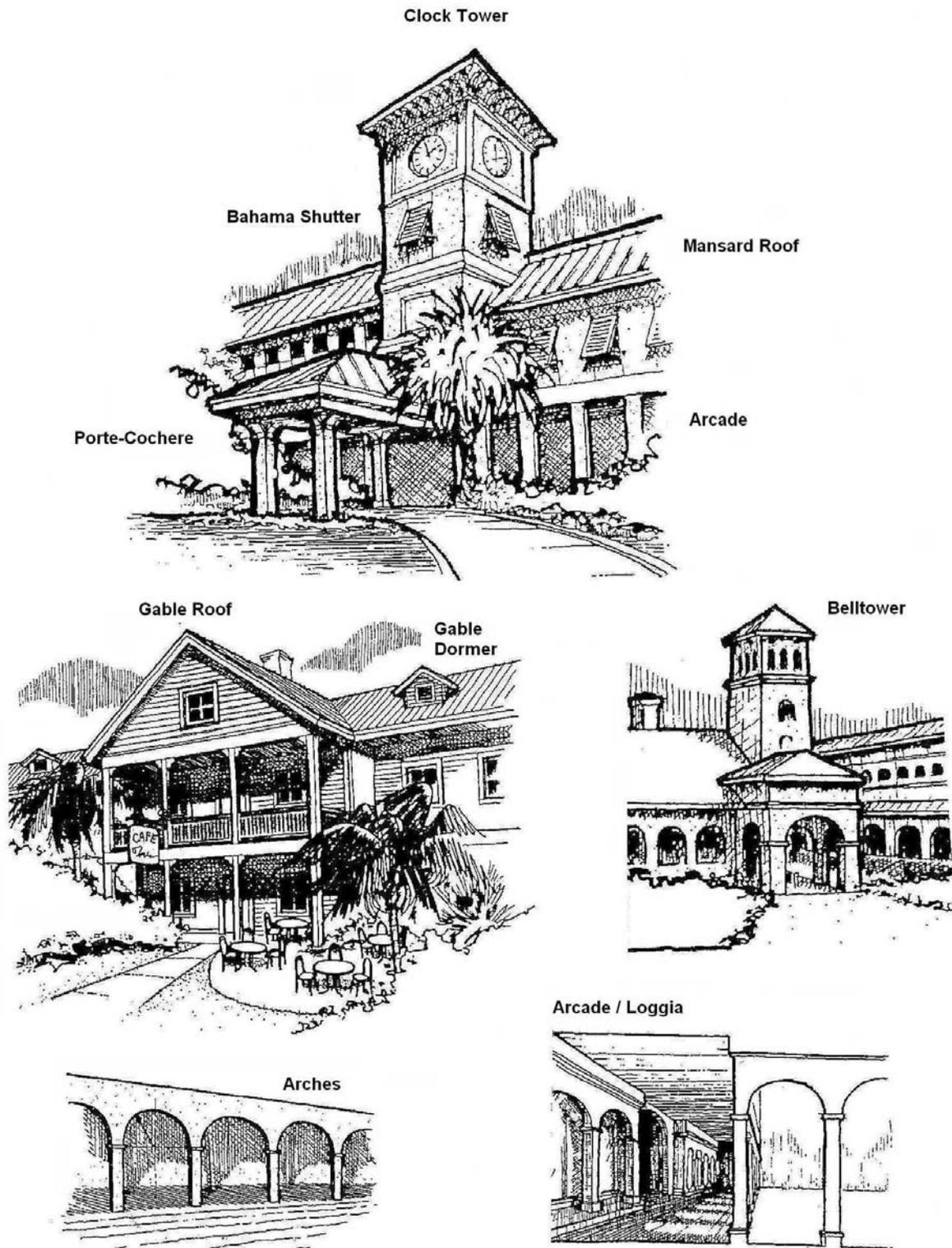


Figure 21

# VII. Sign Standards

1. **Unified Sign Plan – Commercial, Institutional, Industrial and ROI Districts** A conceptual signage and sign lighting plan shall be submitted that complies with these standards. These Design Standards are to be used in conjunction with Chapter 155 (Sign Code) of the Land Development Regulations.

For projects with multiple on-premise signs, the applicant shall submit, with the site plan review application, architectural elevations showing that all façade sign locations meet height requirements. These will be reviewed for location only. After site plan approval, a sign plan application, with elevations, must be submitted separately for each sign, showing that all signs are compatible in color/material/design (including out parcel signs). Corporate logo and sign lettering with color variation is permitted.

2. **Freestanding (Monument) Tenant Signs**

In addition to other City codes, the following standards shall apply:

- a. Design signs to be compatible with the architecture of the building (colors, materials).
- b. Use a minimum 9” and a maximum 24” letter height for all signs. At least one line must comply with the minimum requirement.
- c. Identify the business name/logo and type of business on tenant signs. Corporate logo and color are permitted on sign. Corporate logo may be 36”, but must be included in sign calculation. Phone numbers and e-mail addresses are not permitted on freestanding signs.
- d. Locate sign perpendicular to the street.
- e. Utilizing color of building on sign face, use no more than three colors on one sign face.
- f. For pole hung signs, design a decorative base/skirt under the sign consistent with the architecture of the building to create the appearance of a ground-mounted monument sign.
- g. Use a single pictographic symbol, if possible (e.g., a key on a locksmith's sign).
- h. For shopping centers/multi-tenant developments, the name of the complex must be shown. However, the name will not count toward the maximum sign area permitted.
- i. All freestanding (monument) sign locations must be shown on the approved site plan.

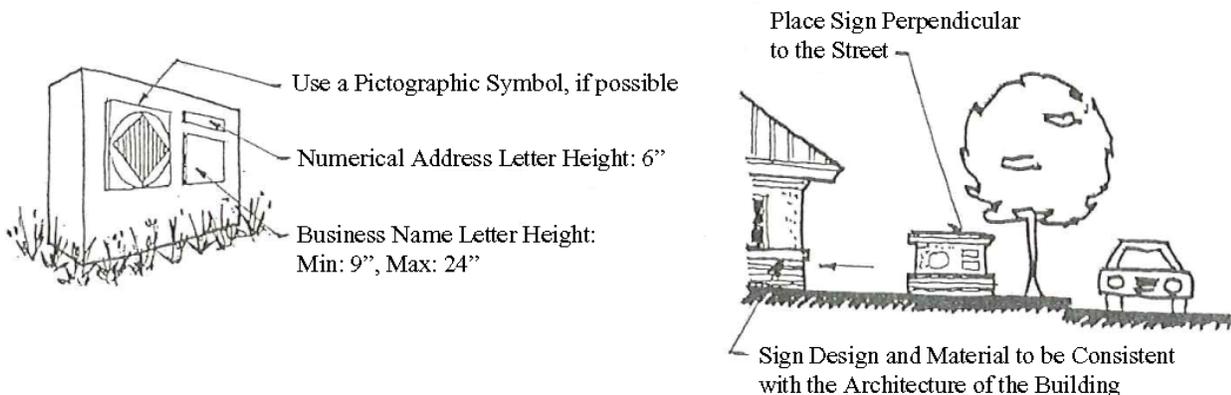
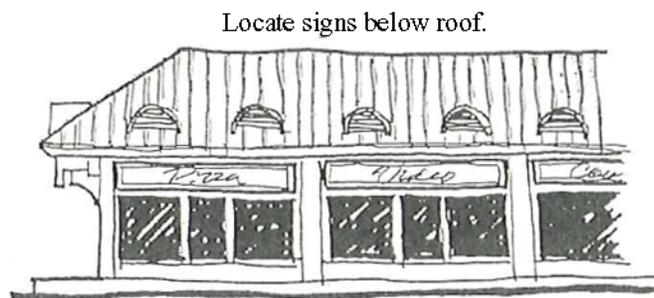


Figure 22 - Freestanding (Monument) Tenant Signs

### 3. **Tenant Signs Attached to a Building**

In addition to other City standards, the following standards apply:

- a. Design signs to be consistent with the architecture of the building (colors, materials).
- b. Use a minimum 9" and a maximum 24" letter height.
- c. Identify only the business name/logo and type of business on façade signs. Corporate logo may be 36", but must be included in sign calculation. Phone numbers and e-mail addresses are not permitted.
- d. Use a pictographic symbol if possible (e.g., a key on a locksmith's sign).
- e. Lettering shall not take up more than 75% of the sign face.
- f. No sign shall be on or above the roof. Height to top of sign may not exceed 20' from finish floor elevation.
- g. New strip mall signage is to be consistent, i.e.: all channel letters, all channel letters on a raceway, all box signs, etc.



Name/Logo and Type of Business Permitted - Letter Height: 9" minimum and 24" maximum

*Figure 23 - Tenant Sign*

### 4. **Miscellaneous Signs**

- a. **Rear Building Signs:** Buildings with rear parking may have identification signs on the rear building walls that are no more than 4 square feet in area. Observe guidelines for "Tenant Signs Attached to Buildings" listed above. In the event that the rear of a building faces a public road, the total square footage allowance may be divided between the front and rear. In the case of multiple tenants, no more than a 30% height variation between tenant signage will be permitted.
- b. **Instructional Signs:** No sign shall be more than two square feet in area. Design sign to be consistent with other site and building signs (color/material).
- c. **Address Information:** Exhibit numerical address on the front facade of building (close to main building entrance) and on the freestanding sign (if provided). Use 6" height numbers in the Helvetica Medium typeface.
- d. **Display Signs:** Limit display of pricing information (gasoline/beer) or similar pricing to 30% of sign face.
- e. **Window Signs:** Include only tenant/business name and hours of operation on windows. Limit permanent window sign displays to 20% of window area. Phone numbers and e-mail addresses are not permitted. However, door signs may contain phone numbers and e-mail addresses in addition to the address.
- f. **Neon Signs:** Use neon signs for creative and exciting artistic expression. Limit area of neon to 20% of total sign or window.
- g. **Projecting Signs:** Locate signs above ground level doors/windows but below the roof or second-floor level to promote a pedestrian environment. Use no more than one projecting sign

per business. Signs shall project no more than four feet from the building face and shall not project into the public right-of-way. At minimum, sign shall have a 6" clearance from the building face. Design all projecting signs to be perpendicular from the building. A maximum sign area of four square feet is permitted. See Figure 24.

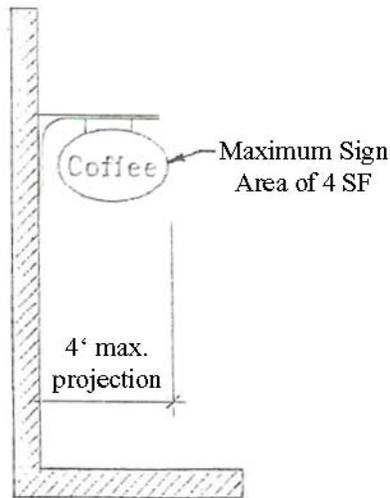


Figure 24 - Projecting Sign

- h. Building Identification Signs: The applicant may choose to use a building identification sign for buildings with a main entry only (no outdoor entry to individual bays). If the applicant chooses to use this type of sign no individual façade signs will be permitted. Only the building name can be shown above the entrance. One building identification sign is permitted per building. Design sign to be compatible with the architecture of the building (color, materials). Sign may not be plastic, and may not be backlit. Sign shall be placed below the roof. The names of the tenants can be shown on the monument sign. See Chapter 155: Sign Code, Table 1, "Schedule of Regulations for Permanent Signs Requiring Permits" for allowable square footage.



Figure 25 - Building Identification Sign

- i. Gas Station Canopy Signs: Height of canopy must be shown on the architectural elevations submitted with the site plan. Cumulative sign area for all sides of the canopy is limited to 32 square feet. No lighting will be permitted on any side of the canopy that faces residential zoning.

**5. Sign Lighting**

- a. Ground-mounted up-lights shall not exceed 150 watts per sign face and shall shield light from aiming toward motorists and neighboring properties. Fixtures shall be hidden from view by sign foundation landscaping.
- b. Back-lit individually cut letters are encouraged in monument sign illumination.
- c. Use same-source lighting for signs and parking area lighting (i.e., do not combine metal halide with sodium vapor).
- d. Interior-lit tenant signs attached to buildings shall only illuminate name and type of business and not entire sign face.
- e. Lighting and buffering shall be consistent with the City's zoning and landscape code.

**6. Prohibited Signs**

- a. Balloon/inflatable sign
- b. Permanent "come-on" sign (Sale Today!)
- c. Portable sign
- d. Bench sign
- e. Billboards (except as shown in section 155.08(H) of the Sign Code)
- f. Roof signs
- g. Changeable sign (except for theaters and houses of worship)
- h. Sign on vehicle parked permanently at or near a business
- i. Traffic sign replica
- j. Streamer/flag sign (except for feather flags on model homes – see sign code for specific information.)
- k. Electronic/animated message sign (except time/temperature sign)
- l. Flashing sign
- m. Signs which move, rotate, flutter
- n. "Stick-in" signs in landscaping
- o. Advertising Signs including "artistic" displays

# VIII. Green Building Incentives

## A. What is Green Building?

Green Building is using design, construction, and maintenance techniques to increase the efficiency with which buildings/developments use resources (energy, water, and materials) while reducing negative impacts to health and the environment. Green Building measures can include incorporating energy and water efficient components, creating healthy indoor environments, reducing waste during construction and building operation, and reducing storm water runoff. The benefits include reduced operating costs, improved public and occupant health, and reduced environmental impacts.

## B. Incentives

The Florida Green Building Coalition (FGBC) and the US Green Building Council (USGBC) are organizations that have created green building certification programs based on point systems. Developers and builders who apply for and meet the requirements are awarded certifications. The certifications provide third party verification that a building/development meets green building standards. The USGBC's rating system is known as LEED (Leadership in Energy and Environmental Design) and offers four levels of certification.

In order to promote developers to obtain green certifications from the FGBC and USGBC, incentives are offered in the form of the following bonuses:

<u>ZONING DESIGNATION</u>	<u>STANDARDS</u>	<u>LEED CERTIFIED LEED SILVER</u>	<u>LEED GOLD LEED PLATINUM FGBC</u>	<u>INCENTIVES</u>
<b><u>FRONT YARD SETBACK</u></b>				
CG	25'	20'	15'	Increases buildable area
CN	25'	20'	15'	
P	25'	20'	15'	
LMD	25'	20'	15'	
RM	25'	20'	15'	
I	25'	20'	15'	
CS	25'	20'	15'	
WI	25'	20'	15'	
IN	25'	20'	15'	
<b><u>SIDE YARD SETBACK*</u></b>				
CG	10'/25'	7.5'/20'	6'/15'	Increases buildable area
CN	10'/25'	7.5'/20'	6'/15'	
P	10'/25'	7.5'/20'	6'/15'	

<b><u>ZONING DESIGNATION</u></b>	<b><u>STANDARDS</u></b>	<b><u>LEED CERTIFIED LEED SILVER</u></b>	<b><u>LEED GOLD LEED PLATINUM FGBC</u></b>	<b><u>INCENTIVES</u></b>
<b><u>SIDE YARD SETBACK* (cont.)</u></b>				
LMD	10'/25'	7.5'/20'	6'/15'	
RM	10'/25'	7.5'/20'	6'/15'	
I	20'	15'	10'	
CS	10'/25'	7.5'/20'	6'/15'	
WI	10'/25'	7.5'/20'	6'/15'	
IN	10'/25'	7.5'/20'	6'/15'	
<b><u>PARKING</u></b>				
All Zoning Districts listed above	9.5' wide spaces	9.0' wide spaces	9.0' wide spaces and 30% Compact spaces (15' long and 7.5' wide)	Increases buildable area/decreases impervious area

\*Choose only one setback reduction: 10'/25' = interior/side setback corner

### C. Review Process

1. At the time of site plan submission, the applicant shall submit the LEED or FGBC checklist showing which credits/rating the developer intends to pursue. The number of points earned determines the award level. The checklist will be the documentation supporting the applicant's request for bonuses.
2. The building registration and other required information will be filed with USGBC or FGBC at the beginning of the project for certification and rating.
3. The proposed site plan (including the requested bonuses) will undergo the site plan review process. If the site plan is recommended for approval by the Site Plan Review Committee, condition language will be included requiring that the green building components identified in the checklist be constructed or installed in the building.
4. Once the site plan has been approved and prior to application for any building permits, the project administrator, or professional designated by the owner, shall provide a letter to the Planning and Zoning Department certifying the inclusion of the approved green building components along with the plans for building permit review.
5. The application for certification and rating will be submitted by the applicant to USGBC or FGBC when the building construction is complete or substantially complete, depending on the credits selected.
6. If during construction of the building, the applicant is unable to include all of the approved green building components previously identified on the scorecard, then the applicant will be required to replace components not provided with other green building components acceptable to USGBC or FGBC.
7. During plan review and construction, the project administrator or professional designated by the owner will provide documentation to the Planning and Zoning Department of any changes in green building components.

8. The applicant shall submit a report from the USGBC or FGBC analyzing the extent credits have been earned towards the targeted rating, no later than 90 days after issuance of the Certificate of Occupancy.
9. Failure to submit a report shall result in a penalty of \$500 per day from the date the report was due to the date it is submitted.
10. Failure to demonstrate full compliance to earn the credits/rating through the report shall result in a penalty as follows:

$$P = [LSM - CE / LSM] * CV * 0.075$$

where:

P is the penalty;

LSM is the minimum number of credits to earn the targeted rating;

CE is the number of credits earned as documented by the report; and

CV is the construction value as set forth on the building permit for the new structure.

Example:

Construction Value	\$100,000.00
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Minimum credits for targeted rating	26
-------------------------------------	----

Credits earned	24
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Penalty =  $[(26 - 24) / 26] * \$100,000.00 * 0.075 = \$576.92$

11. Use of Penalties. Revenue from penalties shall be allocated to City initiated green building construction activities.

# IX. Approved Colors

The industry standard used for the Approved Color Chart is Sherwin-Williams. The paint color numbers listed on the Approved Color Chart are used as reference only and are not intended to limit paint selection to any one paint manufacturer. The applicant may use any manufacturer's paint, as long as the color matches the Approved Color Chart.

Samples of building, trim, and roof colors shall be submitted for review with the site plan application.

## APPROVED COLOR CHART FOR BASE AND SECONDARY BUILDING COLORS

<b>NEUTRALS</b>			
SW 7008	Alabaster	SW 7073	Network Gray
SW 7009	Pearly White	SW 7077	Original White
SW 7010	White Duck	SW 7078	Minute Mauve
SW 7011	Natural Choice	SW 7079	Ponder
SW 7014	Elder White	SW 7080	Quest Gray
SW 7015	Repose Gray	SW 6000	Snowfall
SW 7016	Mindful Gray	SW 6001	Grayish
SW 7017	Dorian Gray	SW 6002	Essential Gray
SW 7021	Simple White	SW 6003	Proper Gray
SW 7022	Alpaca	SW 6007	Smart White
SW 7023	Requisite Gray	SW 6008	Individual White
SW 7024	Functional Gray	SW 6009	Imagine
SW 7028	Incredible White	SW 6010	Flexible Gray
SW 7029	Agreeable Gray	SW 6014	Quartz White
SW 7030	Anew Gray	SW 6015	Vaguely Mauve
SW 7031	Mega Greige	SW 6016	Chaise Mauve
SW 7035	Aesthetic White	SW 6017	Intuitive
SW 7036	Accessible Beige	SW 6021	Dreamy White
SW 7037	Balanced Beige	SW 6022	Breathless
SW 7038	Tony Taupe	SW 6023	Insightful Rose
SW 7042	Shoji White	SW 6024	Dressy Rose
SW 7043	Worldly Gray	SW 6028	Cultured Pearl
SW 7044	Amazing Gray	SW 6029	White Truffle
SW 7045	Intellectual Gray	SW 6030	Artistic Taupe
SW 7049	Nuance	SW 6031	Glamour
SW 7050	Useful Gray	SW 6035	Gauzy White
SW 7051	Analytical Gray	SW 6036	Angora
SW 7052	Gray Area	SW 6037	Temperate Taupe
SW 7056	Reserved White	SW 6038	Truly Taupe
SW 7057	Silver Strand	SW 6042	Hush White
SW 7058	Magnetic Gray	SW 6043	Unfussy Beige

<b>NEUTRALS (Continued)</b>			
SW 7059	Unusual Gray	SW 6044	Doeskin
SW 7063	Nebulous White	SW 6045	Emerging Taupe
SW 7064	Passive	SW 6049	Gorgeous White
SW 7065	Argos	SW 6050	Abalone Shell
SW 7066	Gray Matters	SW 6051	Sashay Sand
SW 7070	Site White	SW 6052	Sandbank
SW 7071	Gray Screen	SW 6056	Polite White
SW 7072	Online	SW 6057	Malted Milk
SW 6058	Likeable Sand	SW 6135	Ecru
SW 6059	Interface Tan	SW 6136	Harmonic Tan
SW 6063	Nice White	SW 6140	Moderate White
SW 6064	Reticence	SW 6141	Softer Tan
SW 6065	Bona Fide Beige	SW 6142	Macadamia
SW 6066	Sand Trap	SW 6161	Nonchalant White
SW 6070	Heron Plume	SW 6162	Ancient Marble
SW 6071	Popular Gray	SW 6163	Grassland
SW 6072	Versatile Gray	SW 6164	Svelte Sage
SW 6073	Perfect Greige	SW 6168	Moderne White
SW 6077	Everyday White	SW 6169	Sedate Gray
SW 6078	Realist Beige	SW 6170	Techno Gray
SW 6079	Diverse Beige	SW 6171	Chatroom
SW 6080	Utterly Beige	SW 6175	Sagey
SW 6084	Modest White	SW 6176	Liveable Green
SW 6085	Simplify Beige	SW 6177	Softened Green
SW 6086	Sand Dune	SW 6178	Clary Sage
SW 6087	Trusty Tan	SW 6182	Ethereal White
SW 6091	Reliable White	SW 6183	Conservative Gray
SW 6092	Lightweight Beige	SW 6184	Austere Gray
SW 6093	Familiar Beige	SW 6185	Escape Gray
SW 6094	Sensational Sand	SW 6189	Opaline
SW 6098	Pacer White	SW 6190	Filmy Green
SW 6099	Sand Dollar	SW 6191	Contented
SW 6100	Practical Beige	SW 6192	Coastal Plain
SW 6101	Sands of Time	SW 6196	Frosty White
SW 6105	Divine White	SW 6197	Aloof Gray
SW 6106	Kilim Beige	SW 6198	Sensible Hue
SW 6107	Nomadic Desert	SW 6199	Rare Gray
SW 6108	Latte	SW 6203	Spare White
SW 6112	Biscuit	SW 6204	Sea Salt
SW 6113	Interactive Cream	SW 6205	Comfort Gray
SW 6114	Bagel	SW 6206	Oyster Bay
SW 611	Totally Tan	SW 6210	Window Pane
SW 6119	Antique White	SW 6211	Rainwashed
SW 6120	Believable Buff	SW 6212	Quietude

<b>NEUTRALS (Continued)</b>			
SW 6121	Whole Wheat	SW 6213	Halcyon Green
SW 6122	Camelback	SW 6217	Topsail
SW 6126	Navajo White	SW 6218	Tradewind
SW 6127	Ivoire	SW 6219	Rain
SW 6128	Blonde	SW 6220	Interesting Aqua
SW 6129	Restrained Gold	SW 6224	Mountain Air
SW 6133	Muslin	SW 6225	Sleepy Blue
SW 6134	Netsuke	SW 6226	Languid Blue
SW 6143	Basket Beige	SW 6227	Meditative
SW 6147	Panda White	SW 6231	Rock Candy
SW 6148	Wool Skein	SW 6232	Misty
SW 6149	Relaxed Khaki	SW 6233	Samovar Silver
SW 6150	Universal Khaki	SW 6234	Uncertain Gray
SW 6154	Nacre	SW 6238	Icicle
SW 6155	Rice Grain	SW 6239	Upward
SW 6156	Ramie	SW 6240	Windy Blue
SW 6157	Favorite Tan	SW 6241	Aleutian
SW 6245	Quicksilver	SW 6262	Mysterious Mauve
SW 6246	North Star	SW 6266	Discreet White
SW 6247	Krypton	SW 6267	Sensitive Tint
SW 6248	Jubilee	SW 6268	Veiled Violet
SW 6252	Ice Cube	SW 6269	Beguiling Mauve
SW 6253	Olympus White	SW 6273	Nouvelle White
SW 6254	Lazy Gray	SW 6274	Destiny
SW 6255	Morning Fog	SW 6275	Fashionable Gray
SW 6259	Spatial White	SW 6276	Mystical Shade
SW 6260	Unique Gray	SW 6261	Swanky Gray

<b>COLOR OPTIONS</b>			
SW 6280	Mauve Tinge	SW 6339	Persimmon
SW 6281	Wallflower	SW 6343	Alluring White
SW 6282	Mauve Finery	SW 6344	Peach Fuzz
SW 6283	Thistle	SW 6345	Sumptuous Peach
SW 6287	White Beet	SW 6346	Fame Ornage
SW 6288	Rosebud	SW 6350	Intricate Ivory
SW 6289	Delightful	SW 6351	Sweet Orange
SW 6290	Rose'	SW 6352	Soft Apricot
SW 6294	Rose of Sharon	SW 6353	Chivalry Copper
SW 6295	Demure	SW 6357	Choice Cream
SW 6296	Fading Rose	SW 6358	Creamery
SW 6297	Rose Embroidery	SW 6359	Sociable
SW 6301	Patient White	SW 6360	Folksy Gold

<b>COLOR OPTIONS (Continued)</b>			
SW 6302	Innocence	SW 6364	Eggwhite
SW 6303	Rose Colored	SW 6365	Cachet Cream
SW 6304	Pressed Flower	SW 6366	Ambitious Amber
SW 6308	Possibly Pink	SW 6367	Viva Gold
SW 6309	Charming Pink	SW 6371	Vanillin
SW 6310	Lotus Flower	SW 6372	Inviting Ivory
SW 6311	Memorable Rose	SW 6373	Harvester
SW 6315	White Dogwood	SW 6374	Torchlight
SW 6316	Rosy Outlook	SW 6378	Crisp Linen
SW 6317	Gracious Rose	SW 6379	Jersey Cream
SW 6318	Resounding Rose	SW 6380	Humble Gold
SW 6322	Intimate White	SW 6381	Anjou Pear
SW 6323	Romance	SW 6385	Dover White
SW 6324	Mellow Coral	SW 6386	Napery
SW 6325	Constant Coral	SW 6387	Compatible Cream
SW 6329	Faint Coral	SW 6388	GoldenFleece
SW 6330	Quaint Peche	SW 6392	Vital Yellow
SW 6331	Smoky Salmon	SW 6393	Convivial Yellow
SW 6332	Coral Island	SW 6394	Sequin
SW 6336	Nearly Peach	SW 6395	Alchemy
SW 6337	Spun Sugar	SW 6483	Buoyant Blue
SW 6338	Warming Peach	SW 6484	Meander Blue
SW 6399	Chamomile	SW 6485	Raindrop
SW 6400	Lucent Yellow	SW 6486	Reflecting Pool
SW 6401	Independent Gold	SW 6490	Timid Blue
SW 6402	Antiquity	SW 6491	Open Air
SW 6406	Ionic Ivory	SW 6492	Jetsteam
SW 6407	Ancestral Gold	SW 6493	Ebbtide
SW 6408	Wheat Grass	SW 6497	Blue Horizon
SW 6409	Edgy Gold	SW 6498	Byte Blue
SW 6413	Restoration Ivory	SW 6499	Stream
SW 6414	Rice Paddy	SW 6500	Open Seas
SW 6415	Hearts of Palm	SW 6504	Sky High
SW 6416	Sassy Green	SW 6505	Atmospheric
SW 6420	Queen Anne's Lace	SW 6506	Vast Sky
SW 6421	Celery	SW 6507	Resolute Blue
SW 6422	Shagreen	SW 6511	Snowdrop
SW 6423	Ryegrass	SW 6512	Balmy
SW 6427	Sprout	SW 6513	Take Five
SW 6428	Honeydew	SW 6514	Respite
SW 6429	Baize Green	SW 6518	Ski Slope
SW 6430	Great Green	SW 6519	Hinting Blue
SW 6434	Spinach White	SW 6520	Honest Blue
SW 6435	Gratifying Green	SW 6521	Notable Hue

<b>COLOR OPTIONS (Continued)</b>			
SW 6436	Bonsai Tint	SW 6525	Rarified Air
SW 6437	Haven	SW 6526	Icelandic
SW 6441	White Mint	SW 6527	Blissful Blue
SW 6442	Supreme Green	SW 6528	Cosmos
SW 6443	Relish	SW 6532	Aura White
SW 6444	Lounge Green	SW 6533	Mild Blue
SW 6448	Greening	SW 6534	Icy
SW 6449	Topiary Tint	SW 6535	Solitude
SW 6450	Easy Green	SW 6539	Soothing White
SW 6451	Nurture Green	SW 6540	Starry Night
SW 6455	Fleeting Green	SW 6541	Daydream
SW 6456	Slow Green	SW 6542	Vesper Violet
SW 6457	Kind Green	SW 6546	Cloud Nine
SW 6458	Restful	SW 6547	Silver Peony
SW 6462	Green Trance	SW 6548	Grape Mist
SW 6463	Breaktime	SW 6549	Ash Violet
SW 6464	Aloe	SW 6553	Heavenly White
SW 6465	Spearmint	SW 6554	Lite Lavender
SW 6469	Dewy	SW 6555	Enchant
SW 6470	Waterscape	SW 6556	Obi Lilac
SW 6471	Hazel	SW 6560	Venus Pink
SW 6472	Composed	SW 6561	Teaberry
SW 6476	Glimmer	SW 6562	Irresistible
SW 6477	Tidewater	SW 6658	Welcome White
SW 6478	Watery	SW 6659	Captivating Cream
SW 6479	Drizzle	SW 6660	Honey Blush
SW 6567	Anemone	SW 6661	Papaya
SW 6568	Lighthearted Pink	SW 6651	Cherish Cream
SW 6569	Childlike	SW 6652	Flan
SW 6574	Rosily	SW 6653	Delicious Melon
SW 6575	Priscilla	SW 6654	Surprise Amber
SW 6576	Azalea Flower	SW 6665	Gardenia
SW 6581	Verbena	SW 6666	Enjoyable Yellow
SW 6582	Impatiens Petal	SW 6667	Afterglow
SW 6583	In the Pink	SW 6668	Sunrise
SW 6588	Diminutive Pink	SW 6672	Morning Sun
SW 6589	Alyssum	SW 6673	Banana Cream
SW 6590	Loveable	SW 6674	Jonquil
SW 6595	Amour Pink	SW 6675	Afternoon
SW 6596	Bella Pink	SW 6679	Full Moon
SW 6682	June Day	SW 6680	Friendly Yellow
SW 6681	Butter Up	SW 6686	Lemon Chiffon
SW 6597	Hopeful	SW 6687	Lantern Light
SW 6602	Angelic	SW 6807	Wondrous Blue

<b>COLOR OPTIONS (Continued)</b>			
SW 6603	Oleander	SW 6688	Solaria
SW 6604	Youthful Coral	SW 6689	Overjoy
SW 6609	Touching White	SW 6693	Lily
SW 6610	Koral Kicks	SW 6694	Glad Yellow
SW 6611	Jovial	SW 6695	Midday
SW 6616	Feather White	SW 6696	Quilt Gold
SW 6617	Blushing	SW 6700	Daybreak
SW 6618	Cosmetic Peach	SW 6701	Moonraker
SW 6619	Sockeye	SW 6702	Lively Yellow
SW 6623	Teasing Peach	SW 6707	Narcissus
SW 6624	Peach Blossom	SW 6708	Springtime
SW 6625	Certain Peach	SW 6709	Gleeful
SW 6626	Sunset	SW 6714	Citrine
SW 6630	Posy	SW 6715	Lime Granita
SW 6631	Naïve Peach	SW 6716	Dancing Green
SW 6632	Neighborly Peach	SW 6721	Enlightened Lime
SW 6633	Inventive Orange	SW 6722	Cucumber
SW 6637	Organza	SW 6723	Jardin
SW 6638	Flattering Peach	SW 6728	White Willow
SW 6639	Avid Apricot	SW 6729	Lacewing
SW 6640	Tangerine	SW 6730	Romaine
SW 6644	Champagne	SW 6731	Picnic
SW 6645	Frangipane	SW 6784	Bravo Blue
SW 6646	Orange Blast	SW 6785	Quench Blue
SW 6647	Exciting Orange	SW 6786	Cloudless
SW 6728	White Willow	SW 6787	Fountain
SW 6729	Lacewing	SW 6791	Lauren's Surprise
SW 6730	Romaine	SW 6792	Minor Blue
SW 6731	Picnic	SW 6793	Bluebell
SW 6735	Minted	SW 6794	Flyway
SW 6736	Jocular Green	SW 6798	Iceberg
SW 6737	Kiwi	SW 6799	Soar
SW 6738	Vegan	SW 6800	Something Blue
SW 6742	Lighter Mint	SW 6801	Regale Blue
SW 6743	Mint Condition	SW 6805	Glass Bead
SW 6744	Reclining Green	SW 6806	Rhythmic Blue
SW 6745	Lark Green	SW 6750	Waterfall
SW 6749	Embellished Blue	SW 6808	Celestial
SW 6751	Refresh	SW 6812	White Iris
SW 6752	Larchmere	SW 6813	Wishful Blue
SW 6756	Crystal Clear	SW 6814	Breathtaking
SW 6757	Tame Teal	SW 6815	Awesome Violet
SW 6758	Aqueduct	SW 6819	Minuet White
SW 6759	Cooled Blue	SW 6820	Inspired Lilac
SW 6763	Retiring Blue	SW 6821	Potentially Purple
SW 6764	Swimming	SW 6826	Whimsical White

<b>COLOR OPTIONS (Continued)</b>			
SW 6765	Spa	SW 6827	Elation
SW 6766	Mariner	SW 6828	Rhapsody Lilac
SW 6770	Bubble	SW 6833	White Lilac
SW 6771	Bathe Blue	SW 6834	Spangle
SW 6772	Cay	SW 6835	Euphoric Lilac
SW 6773	Rapture Blue	SW 6648	Kumquat
SW 6777	Carefree	SW 6655	Adventure Orange
SW 6778	Aviary Blue	SW 6662	Summer Day
SW 6340	Baked Clay	SW 6669	Yarrow
SW 6347	Chrysanthemum	SW 6634	Copper Harbor
SW 6354	Armagnac	SW 6641	Outgoing Orange
SW 6361	Autumnal	SW 6779	Liquid Blue
SW 6606	Coral Reef	SW 6780	Nautilus
SW 6613	Lei Flower	SW 6627	Emberglow
SW 6620	Rejuvenate		

<b>BRIGHTS</b>			
SW 6852	Desire Pink	SW 6937	Tantalizing Teal
SW 6872	Gaiety	SW 6938	Synergy
SW 6888	Pizazz Peach	SW 6948	Blue Bauble
SW 6912	Glisten Yellow	SW 6956	Blue Refrain
SW 6900	Optimistic Yellow	SW 6960	Bewitching Blue
SW 6901	Daffodil	SW 6936	Aquatint
SW 6928	Green Vibes	SW 6929	Witty Green

<b>TRIM ONLY</b>			
SW 6563	Rose Bay	SW 6598	Dishy Coral
SW6570	Haute Pink	SW 6605	Charisma
SW 6577	Jaipur Pink	SW 6612	Ravishing Coral
SW 6584	Cheery	SW 6703	Frolic
SW 6591	Amaryllis	SW 6710	Mélange Green
SW 6717	Lime Rickey	SW 6949	Slick Blue
SW 6724	Mesclun Green	SW 6957	Undercool
SW 6822	Wisteria	SW 6961	Blue Beyond
SW 6829	Magical	SW 6972	Joyful Lilac
SW 6836	Novel Lilac	SW 6973	Free Spirit
SW 6873	Coral Bead		