

## **NOTICE TO ALL CONTRACTORS AND HOMEOWNER/BUILDERS**

**IN ORDER TO EXPEDITE AND FACILITATE THE PERMITTING AND INSPECTION PROCESS FOR NEW CONSTRUCTION, AND TO BETTER SERVE THE PUBLIC, THE PUBLIC WORKS DEPARTMENT OFFERS THE FOLLOWING INFORMATION:**

The intent of these requirements is to provide you with a functional surface water drainage plan as required by City Code Section 150.402. It is your responsibility to provide us with the proper information to make such a determination.

Please be aware that the following information is subject to change to meet current standards and/or to conform to revisions in NPDES requirements.

### **Plot Plan**- Submittal Information and Pool Plan review

- Typical corner and inside lot sample plot plan (*Exhibits A,B*)
- Typical interior & corner lot setbacks (*Exhibits C,D*)
- Erosion Control Options (Hay bale and silt fence details) (*Exhibits E,F*)
- Erosion and Sediment Control Plan (*Exhibit G*)

### **Handouts** – Stake out; Driveway inspection; Final inspection; Pool Inspection

- Footer detail (*Exhibit H*)
- “A” Drainage detail (*Exhibit I*)
- “B” Drainage detail (*Exhibit J*)
- Liner detail (*Exhibit K*)
- Typical sod layout for residential construction (*Exhibits L,M*)
- Headwall examples (*Exhibits N,O*)
- Culvert detail (*Exhibit P*)
- Contractor’s Checklist

### **PLEASE NOTE:**

All inspections and plan reviews are done on a case by case basis. Particular circumstances may warrant additional requirements not specifically addressed by this package

Questions regarding inspections should be directed to the Public Works Survey Supervisor.

Questions regarding plot plans or pool plans should be directed to the Project Coordinator who reviews these plans.

**PUBLIC WORKS DEPT. (772) 871-5177 FAX (772) 871-5289 TDD (772) 344-4222**

# PLOT PLANS

## PLOT PLANS

In order to obtain a Building Permit for residential construction a plot plan must be submitted to the City of Port St. Lucie Public Works Department for Approval prior to the plans being submitted to the Building Department. The following information must be shown on a survey and must be completed by a Florida Licensed Surveyor.

1. The plot plan must be signed and sealed. No additions to a sealed copy are permitted, except by the original signing party.
2. The easements for the lot (per the plat).
3. The Legal Description (lot, block, and Port St. Lucie section) **or** (lot, or lot and block and subdivision name and phase.)
4. Whether public water and sewer is available.
5. Flood Zone information (if located in flood zone, elevations must be N.G.V.D.).
6. Label adjacent lots as vacant or occupied. Provide F.F.E. (finished floor elevations) for closest occupied lot within three (3) lots of subject lot. (see 11.h, below)
7. If a tract is located adjacent to a lot it must be labeled.
8. If well and septic, the plan must have all original applicable stamps from the Health Department.
9. The contractor must submit the original copy of the paperwork from the Health Department.
10. Benchmark for the construction site must be located in the centerline of the road, clearly marked with an "X" (if assumed bench is used it must be labeled as such). If a corner lot the benchmark used should be at the centerline of the two streets meeting.
11. The following elevations must be shown: (See Exhibits A and B)
  - a. Elevation on the centerline of the road at each property line. Extended and in the center.
  - b. Elevation at the edge of pavement at each property line. Extended and in the center.
  - c. Swale elevations (inside lot minimum three (3), corner lot minimum six (6).(equally spaced)
  - d. Elevations at the property line, adjacent to the elevations on the road.
  - e. Elevation approximately half way through the lot on the property line.
  - f. Elevation on the rear property line, each corner and one in the middle.
  - g. An elevation approximately in the center of the lot.
  - h. Please show ground elevations on adjacent vacant lots if there are no occupied lots within three (3) lots of the subject lot. (See Exhibits A & B)

12. Must show ties from the property line to each corner of the proposed residence including bay windows and to any porch or entryway.
13. Must show the proposed Driveway labeled with the width on the driveway in the right-of-way area.
14. If the site has curb and gutter it must be shown with spot elevations.
15. The Plot Plan should reflect anything located in the Right Of Way (guardrails, culverts, telephone poles, guide wires, water and sewer valves, fire hydrants) and topographic information that may affect the lot, the driveway, or the placement of the proposed residence.
16. In the event that a lot is located next to a canal and/or drainage right of way (ditch), the survey must show the location of the top of bank and the elevations along the top of bank, and the location and elevation along either the top of water and/or the bottom of ditch. The survey should also reflect the location and elevation of any culverts that are located in the ditch that may closely affect the subject property.
17. The plot plan must be to scale, and the scale must be on the plan.
18. Survey submitted must meet the applicable requirements of Chapter 61G17-6 of the Florida Administrative Code. (Minimum Technical Standards)
19. If the proposed residence is to be built on two lots the contractor must submit letters from the utility companies stating that they are not utilizing the easement between the lots and that they have no facilities in the easement. Must show easements requested by any of the utility companies.
20. The contractor is responsible for submitting any letters given by the City of Port St. Lucie in reference to the proposed residence.
21. If an irrigation well is going to be installed it must have the approval stamp on the plan from the St. Lucie County Health Department.
22. If the plan is rejected for any reason you must have all applicable stamps from the Health Dept. on any re-submittal.
23. If homeowners own two lots but are only building on one, they must meet the requirement for one lot and the Public Works Permit Form must designate only the lot # being built on.

## **POOL PLAN REVIEW**

In order to obtain a permit to construct a residential pool a plot plan must be submitted to the City of Port St. Lucie Public Works Department for approval. The following information is required on the plot plan.

1. A copy of a valid survey that is acquired from The City of Port St. Lucie Building Department may be used for the plot plan for a pool provided that:
  - a. The plan is legible
  - b. The plan has the surveyors name and the date the survey was completed
  - c. The plan shows the location of the pool and pool deck.
  - d. The plan shows distances from the property lines to both the pool and the pool deck on all sides.
  - e. The plan must be done in ink and no pencil will be accepted
  - f. The survey must show all current improvements done to the subject property
  - g. The survey must show the correct easement in the rear of the property.
  - h. A deck may encroach into the rear 20-foot drainage and utility easement by 10-feet with an approved Revocable Encroachment Permit.

# **CITY OF PORT ST. LUCIE** **P.U.D. PLOT PLAN REVIEW**

In order to obtain a Building Permit for residential construction a plot plan must be submitted to the City of Port St. Lucie Public Works Department for Approval prior to the plans being submitted to the Building Department. The following information must be shown on a survey and must be completed by a Florida Licensed Surveyor.

1. The plot plan must be signed and sealed. No additions to a sealed copy are permitted, except by the original signing party.
2. The plot plan must be to scale, and scale must be on the plan.
3. The easements for the lot (per the plat).
4. The Legal Description (lot, block, and Port St. Lucie section) **or** subdivision name and phase.
5. Finished floor elevation must be on survey and match the F.F.E. on the P.U.D.
6. Adjacent lots need to be labeled as vacant or occupied, if occupied surveyor must show F.F.E. (finished floor elevations).
7. Must show drainage arrows as approved on the construction plans.
8. All sidewalks must be shown with the width labeled.
9. If a tract is located adjacent to a lot it must be labeled.
10. Benchmark for the construction site (if assumed bench is used it must be labeled as such).
11. The following elevations must be shown: (See attached examples for typical inside and corner lots).
  - A. Elevations at the property line, adjacent to the elevations on the road.
  - B. Elevation approximately half way through the lot on the property line.
  - C. Elevation on the rear property line, each corner and one in the middle.\*Note – Other elevations may be required on a case by case basis
12. Must show ties from the property line to each corner of the proposed residence including bay windows and to any porch or entryway.
13. Must show the proposed Driveway labeled with the width (min. 10-feet, max 24-feet).
14. If the site has curb and gutter it must be shown with spot elevations.
15. The Plot Plan should reflect anything located in the Right Of Way (guardrails, culverts, telephone poles, guide wires, water and or sewer valves, fire hydrants) and topographic information that may affect the lot, the driveway, or the placement of the proposed residence.

16. In the event that a lot is located next to a canal and/or drainage right of way, (ditch) the survey must show the location of the top of bank and the elevations along the top of bank, and the location and elevation along either the top of water and/or the bottom of ditch. The survey should also reflect the location and elevation of any culverts that are located in the ditch that may closely affect the subject property.
17. The surveyor should locate any drainage pipes or water and sewer valves or meters in the City Right of Way.
18. Survey submitted must meet the requirements of Chapter 61G17-6.001 through 61G17-6.007 of the Florida Administrative Code. (Minimum Technical Standards)
19. The contractor is responsible for submitting any letters given by the City of Port St. Lucie in reference to the proposed residence.

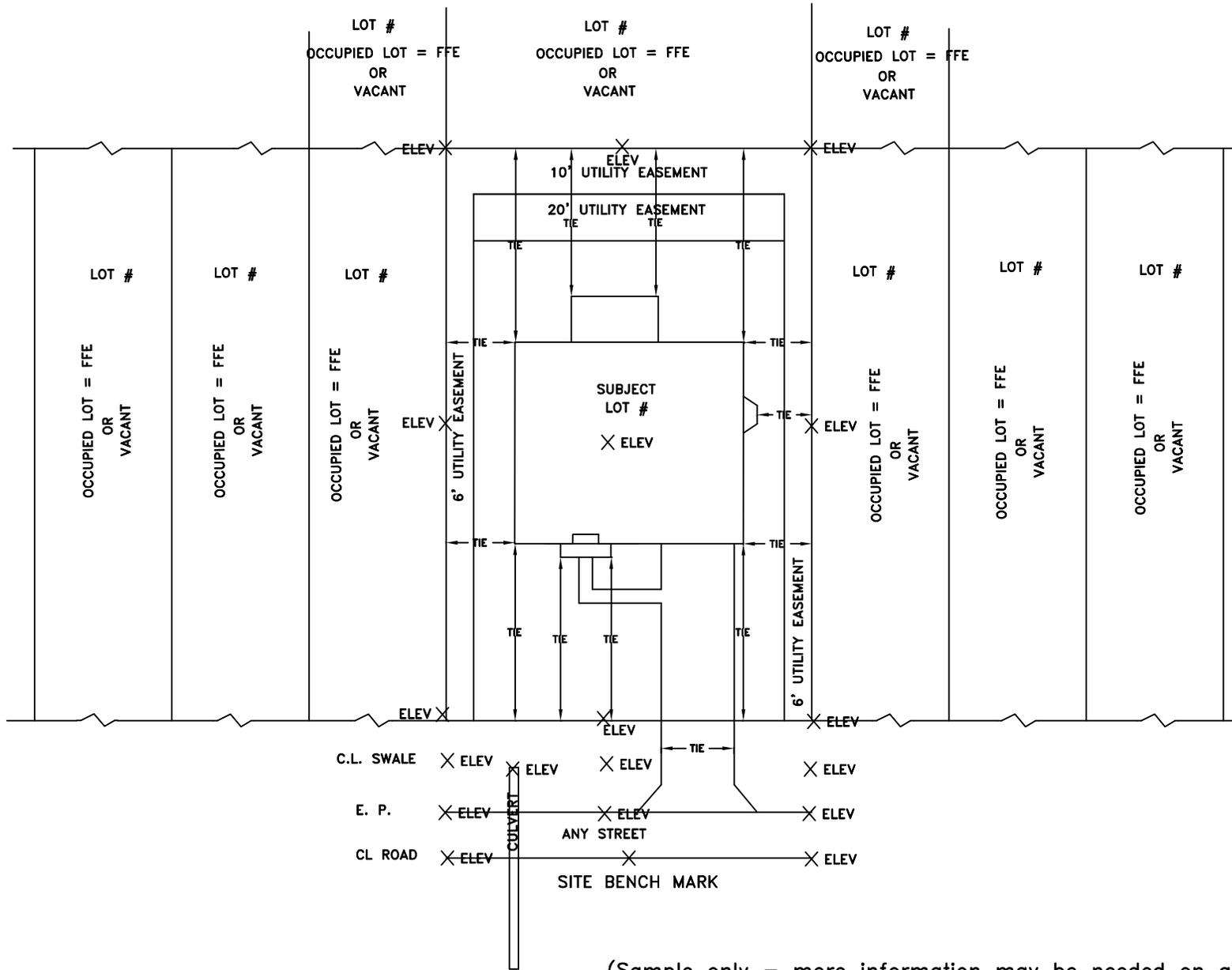
#### **P. U. D. POOL PLAN REVIEW**

In order to obtain a permit to construct a residential pool a plot plan must be submitted to the City of Port St. Lucie Public Works Department for approval. The following information is required on the plot plan.

1. A copy of a valid survey that is acquired from The City of Port St. Lucie Building Department may be used for the plot plan for a pool provided that:
  - A. The plan is legible
  - B. The plan has the surveyors name and the date the survey was completed.
  - C. The plan shows the location of the pool and pool deck.
  - D. The plan shows distances from the property lines to both the pool and the pool deck on all sides.
  - E. The plan must be done in ink and no pencil will be accepted

The survey must show all current improvements done to the subject property.

# TYPICAL INSIDE LOT (SEE PLAT FOR EASEMENTS)



(Sample only - more information may be needed on a case-by-case basis)



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PUBLIC WORKS DEPARTMENT  
121 S.W. PORT ST. LUCIE BLVD.  
PORT ST. LUCIE FL. 34984

## INSIDE LOT (PLOT PLAN) EXHIBIT A

NOTES:

DESIGNED BY:

DRAWN BY:

SHEET:

OF:

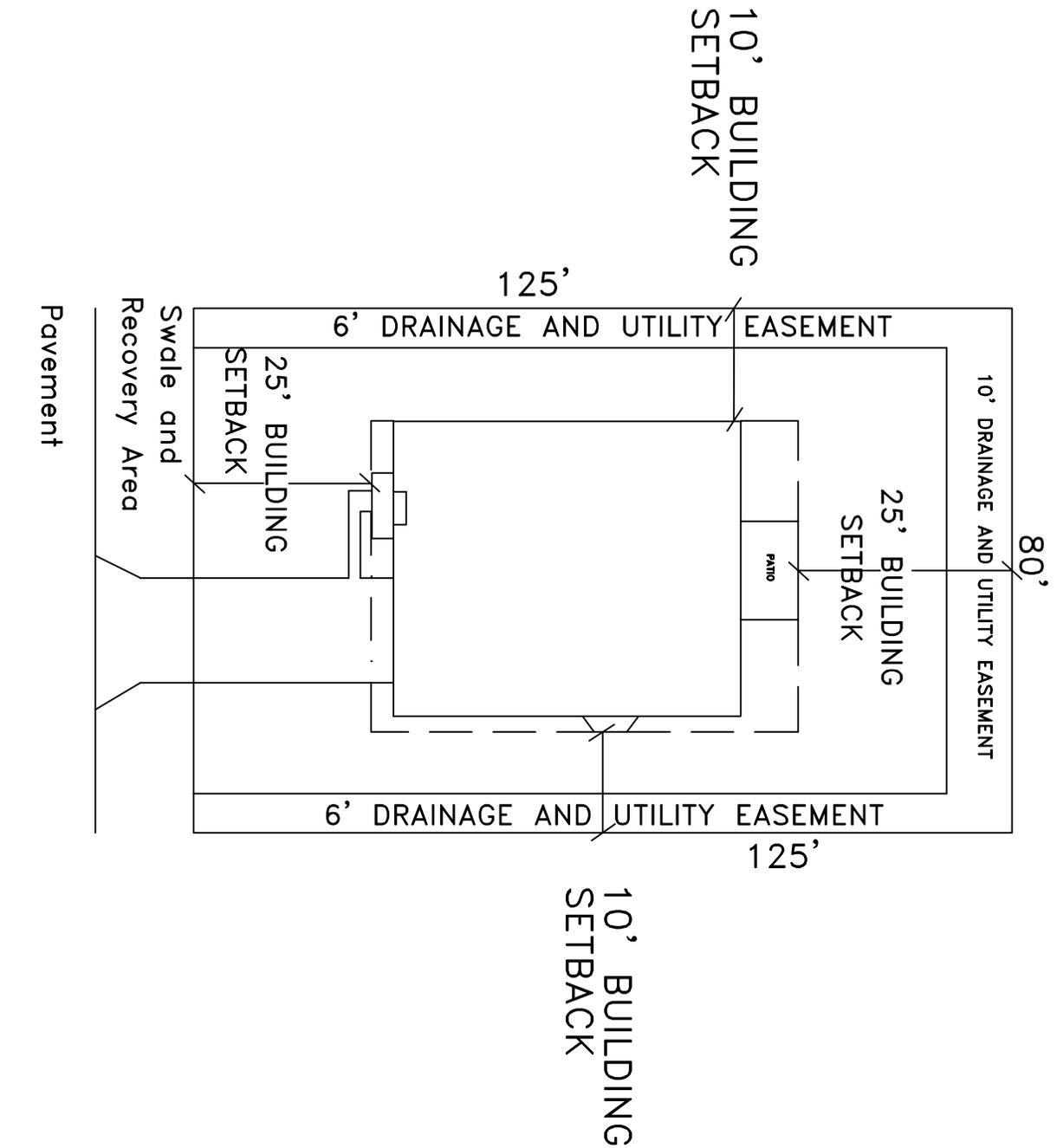
DATE:

August 2013



# TYPICAL INSIDE LOT (SEE PLAT FOR EASEMENTS)

20' Easement if Adjacent To Canal  
Drainage Right-Of-Way.



Note: This is a typical 80' X 125' lot.  
Various Exceptions can apply.



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INSIDE LOT (SETBACK)  
EXHIBIT C

NOTES:

DESIGNED BY:

DRAWN BY:

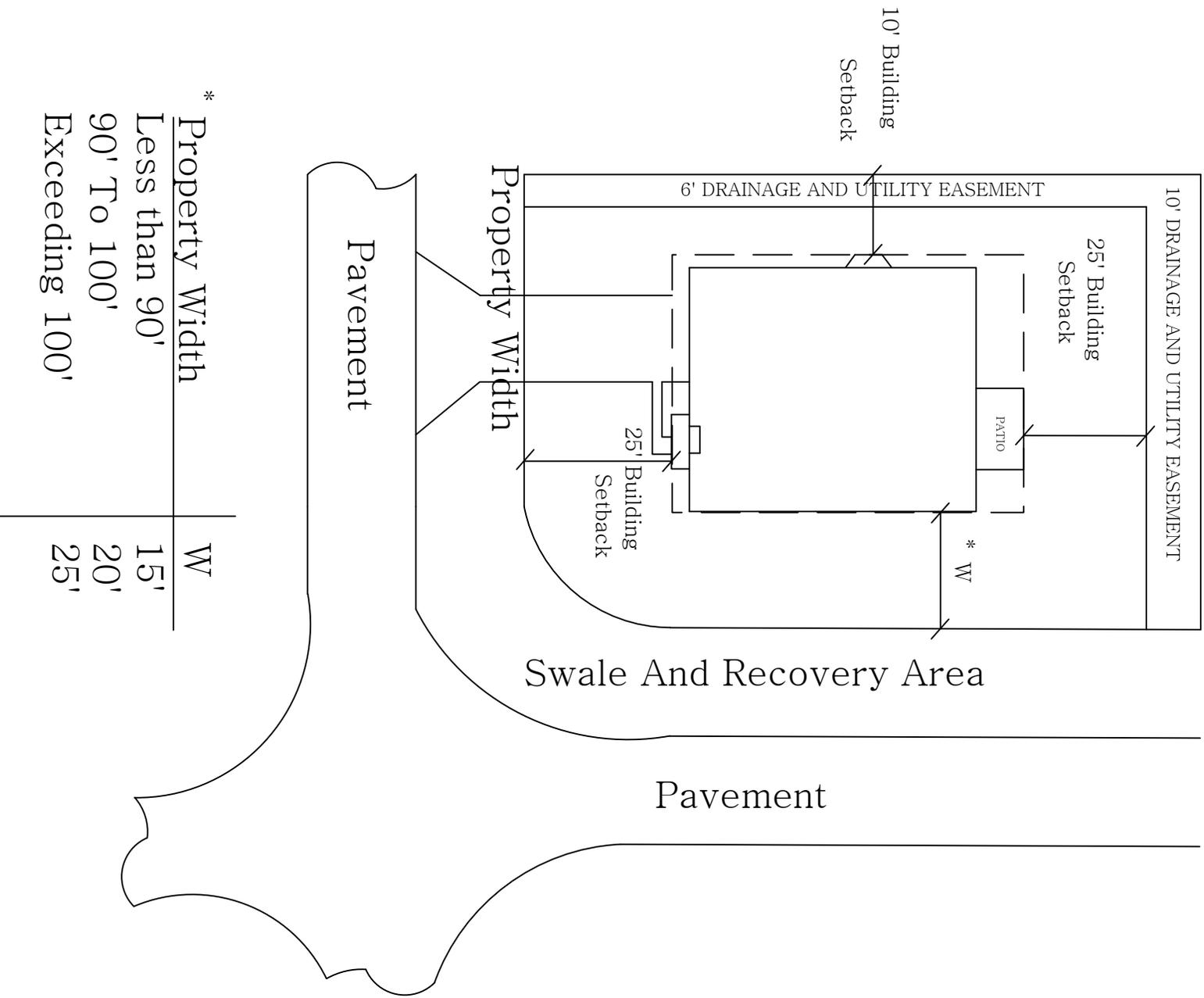
SHEET:

OF:

DATE:

AUG. 2013

# TYPICAL CORNER LOT (SEE PLAT FOR EASEMENTS)



\*  
Property Width  
Less than 90'  
90' To 100'  
Exceeding 100'

W  
15'  
20'  
25'



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## CORNER LOT (SETBACK)

EXHIBIT D

NOTES:

DESIGNED BY:

DRAWN BY:

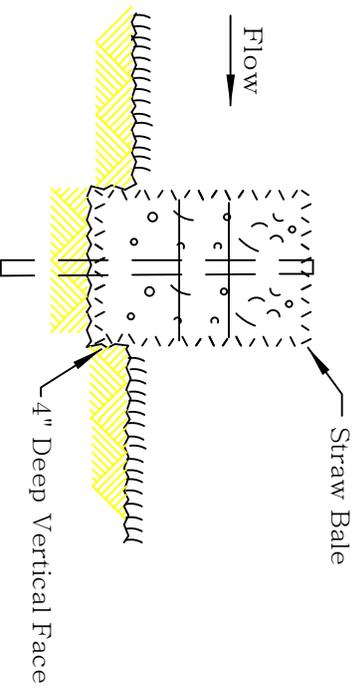
SHEET:

OF:

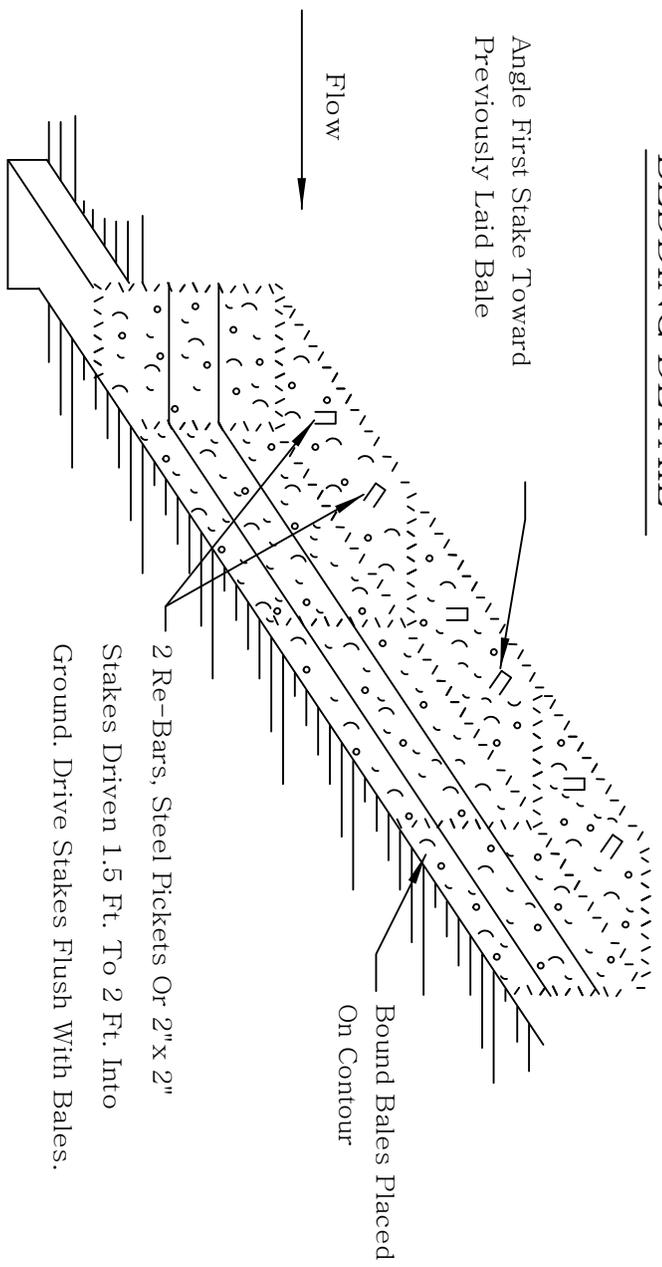
DATE:

AUG. 2013

# Erosion control plan using haybales



## BEDDING DETAIL



## ANCHORING DETAIL

### NOTES

1. Bales shall be placed at the top of slope or on the contour and in a row with ends tightly abutting the adjacent bales.
2. Each bale shall be embedded in the soil a minimum of 4", and placed so that bindings are horizontal.
3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
4. Inspection shall be frequent and repair replacement shall be made promptly as needed.
5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



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## STRAW BALE BARRIER

### EXHIBIT E

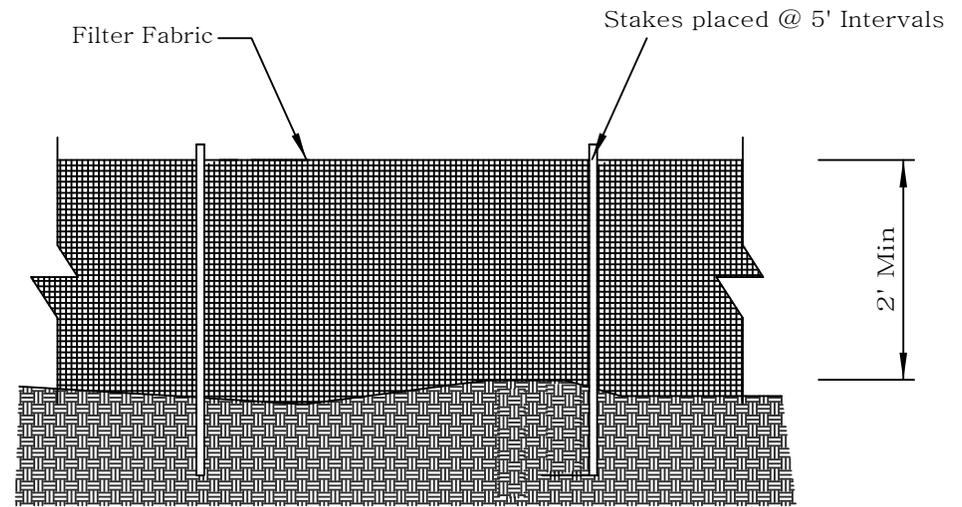
NOTES:

DESIGNED BY:  
 SHEET:            OF:

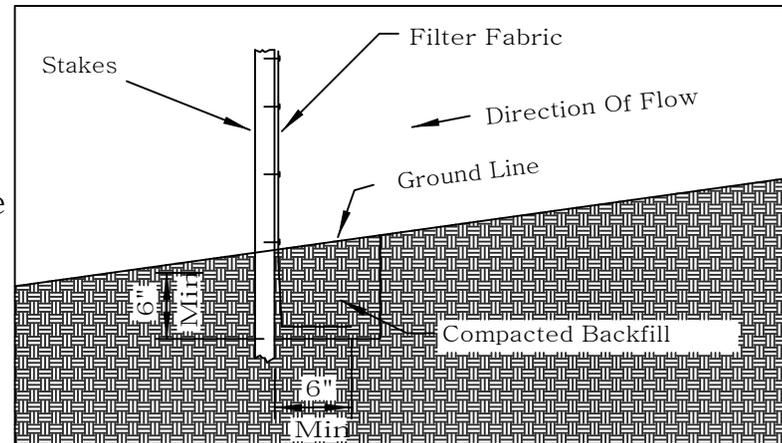
DRAWN BY:  
 DATE:

## EROSION CONTROL PLAN USING SILT FENCE

1. Width of silt fence should be determined by size of disturbed area and width of swale. Should be wide enough to prevent material from bypassing fence.
2. Stakes needs to be 2"x2"(or 4'dia.) and be fastened to the downstream side of the silt fence.
3. Silt fence needs to be "trenched in" to be effective.
4. Inspect and repair after storm event, remove sediment as necessary and replace fence when damaged.
5. Public Drainage Rights of Way should be protected from entire disturbed area.
6. Inlets and cross street culverts shall be kept free of sedimentation buildup with silt fence or haybale protection.



ELEVATION



FABRIC ANCHOR DETAIL



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### SILT FENCE BARRIER

#### EXHIBIT F

NOTES:

DESIGNED BY:

DRAWN BY:

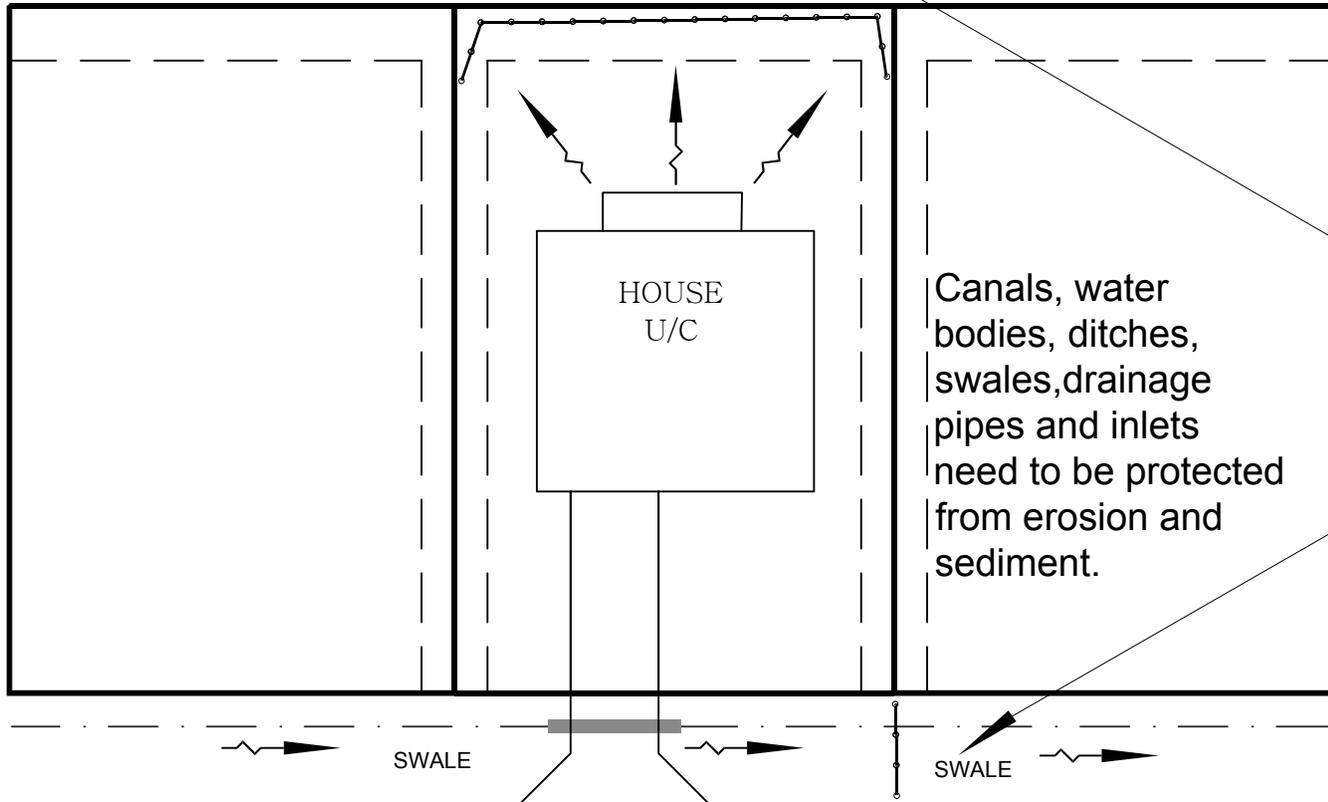
SHEET:

OF:

DATE:

AUG. 2013

DRAINAGE R.O.W. / BODY OF WATER



Canals, water bodies, ditches, swales, drainage pipes and inlets need to be protected from erosion and sediment.

PROTECT CITY DRAINAGE FROM EROSION AND SEDIMENT



Drainage patterns may vary. Erosion and Sediment controls should be adjusted according to flow direction and to the components of the City's stormwater system adjacent to the site.



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Public Right of Way Protection

EXHIBIT G

NOTES: U/C=UNDER CONSTRUCTION

DESIGNED BY:

DRAWN BY:

SHEET:

OF:

DATE:

AUG. 2013

# INSPECTIONS

## **PUBLIC WORKS INSPECTIONS**

### **SERVICES PROVIDED BY THE CITY OF PORT ST. LUCIE PUBLIC WORKS DEPARTMENT FOR RESIDENTIAL SITES**

The Public Works Department provides plot plan review/approval upon submission of a survey, permit application and the corresponding fee as detailed in the city code, section 150.705. Once your permit application is approved the contractor or homeowner builder is required to schedule the following services/or inspections at the appropriate time during the construction.

1. **Stake Out** - To establish driveway culvert size, diameter, and type; as well as swale or swale liner elevations.
2. **Driveway/Sidewalk Form Board inspection** - Inspection of driveway culvert and/or form boards and footer prior to any slab pour or finished surface. Sidewalks that are intended for public accessibility are required to have a form board inspection in addition to a driveway inspection prior to any slab pour.
3. **Final inspection** - Inspection of site after completion to meet City of P.S.L. Public Works Department standards for land development.

**Note:** Driveway, Sidewalk, and Final inspections are typically scheduled within two (2) days of the date of request. Form board inspections for driveways and sidewalks will not be scheduled separately.

### **STAKE OUT**

The survey crew does field work in order to provide the contractor with the grades for the culvert and the swale. A cut sheet used by the Grading Company to set these grades may be picked up in this office, after completion of the stake out. Grades given are the finished swale grades (finished liner or sod). Culvert size, diameter, and type will be written on cut sheet.

### **DRIVEWAY INSPECTION**

1. The culvert pipe under the driveway must be set to the grades provided by the City of Port St. Lucie Public Works Department. Nothing higher than the grades provided will be approved, however we do allow the culvert pipe to be no more than 1 inch low, provided the culvert pipe is pitched the correct direction on proper grade. In addition, the culvert must match the size, diameter, and type provided on the cut sheet.
2. All driveways will require a form board inspection prior to any slab pour. All forms must be in place at time of inspection. Driveways will be inspected to meet the approved plan and City of P.S.L. Public Works requirements. Note: Form boards for driveways that intersect sidewalks for public accessibility will also be required to meet ADA Standards for Accessible Design.
3. Driveways with a culvert and that require a form board must be centered with equal amounts of culvert extending on both sides.
4. Driveways that may not require a form board (such as some paver driveways) are the builder's responsibility to be centered on the culvert at time of Final inspection.
5. Driveways to a building or structure shall be sloped so as to prevent the runoff of surface water into any building or structure.
6. Headwalls on culverts may be required (**EXHIBITS N & O**). This will be noted on cut sheet. Forms for headwalls are not required at time of driveway inspection, but headwalls must be installed and poured by Final Inspection.
7. Culvert ends must be accessible to verify elevations at time of Driveway Inspection.
8. The location for proper grades on a culvert can be seen on EXHIBIT P.

9. All joints on RCP (Reinforced Concrete Pipe) must be visible to check for gaskets and joint connections.
10. No damaged culverts will be accepted.
11. Culvert location must be in alignment with existing driveway culverts or existing swales within the city right of way.
12. Concrete driveways are to be a minimum 4 inches thick.
13. Concrete driveways are to have a minimum 6-inch deep by 8-inch wide footer where the driveway meets the edge of pavement. If there is road base extending beyond the edge of pavement, the contractor is responsible to saw cut it out and have a proper footer (EXHIBIT H).
14. If the driveway is to be asphalt, it must have a 6-inch compacted coquina or lime rock base and a minimum 1-inch Type II asphalt. The rock is to extend 6 inches beyond the asphalt overlay.
15. Must show at least 10-feet of separation between ends of driveway culvert and all crossover pipes, side lot pipes, and catch basins. Exceptions will be noted on the cut sheet.

**Note:** To avoid a rejection, any modification from an approved site plan must be re-submitted and approved before the Driveway inspection. If the driveway is damaged after an approved Driveway inspection, it is the builder's responsibility to schedule a Driveway re-inspection before a Final.

### **SIDEWALK FORM BOARD INSPECTION**

1. Sidewalks used for public accessibility will require a form board inspection prior to any slab pour. The sidewalk will be inspected to meet the approved plan, City of P.S.L. Public Works Department standards, and ADA Standards for Accessible Design.
2. All forms must be in place at time of inspection.
3. Concrete sidewalks are to be a minimum 4 inches thick.
4. In addition to ADA slope standards, the sidewalk shall be sloped to function with drainage.

**Note:** Sidewalks that may not require a form board (such as some paver) will be inspected at time of Final inspection. To avoid a rejection, any modification from an approved site plan must be re-submitted and approved before the Sidewalk Form Board inspection. After the slab pour, sidewalks will be inspected again at time of Final inspection.

### **FINAL INSPECTION**

1. Swale grades are verified. A ½" to ¾" low tolerance is accepted, if pitched in the correct direction.
2. All pegs in liner must be installed on sides and ends should be flush with liner (10 pegs per 20' section).
3. The swale and property are to be sodded per City of Port St. Lucie code (EXHIBITS K, L, M).
  - a. Sod must be below the edge of pavement.
  - b. Sod must match the liner.

- c. All swales disturbed at the street right-of-way will require proper erosion control and must be functional. On undeveloped disturbed lots with no liner, a minimal 2 rows of sod spaced approximately 8 inches apart shall be used for drainage flow in the swale area with seed and straw mulch. On undeveloped disturbed lots with liner, a minimal 2 rows of sod along edge of liner is required with seed and straw mulch. It is encouraged to use more than the minimal sod requirements as a method of erosion control and additional sod may be required by the Public Works Department at time of Final Inspection.
  - d. All swales disturbed at the street right-of-way that have liner must be restored with liner matching original grades.
  - e. A 6-foot by 30-foot sod wedge is required on undeveloped adjacent lots if disturbed.
  - f. Sod must be tied into adjacent developed lots. If a fence is installed along a property line, sod must tie into bottom of fence. No gaps between sod and fence.
  - g. A ten-foot wide strip of sod shall be placed adjacent to all drainage right-of-ways.
  - h. Please be aware that if an adjacent developed lot's swale area has been crossed and utilized by the builder of new construction, it must be restored and have the same type of original sod. New sod must tie into existing sod.
4. The final grading of the lot is the responsibility of the contractor. We check for the drainage to go below the stucco grade (around house) then drain into the easements. This also includes back porches.
  5. The back and side easements must have positive drainage to the front swale; this is called ("A" DRAINAGE). There is also ("B" DRAINAGE) which drains to the back and front (EXHIBITS I and J).
  6. Adjacent swales and lots are defined as next to, across the street, or behind the subject property and the contractor is responsible for restoring any damage caused by the construction of new home (Ruts in the swales, construction debris, items that might interrupt water flow or mowing).
  7. All wash outs caused by your construction must be removed from all culverts, crossover pipes, liner, side-lot ditches, catch basins, and canals at time of Final Inspection. In addition, all silt fences in the swale at the street right-of-way from your construction must be removed at time of Final Inspection
  8. Seed and hay or sod must be distributed on undeveloped lots that are disturbed due to construction.
  9. The City of Port St. Lucie requires all slopes not to exceed 3:1 (three-foot horizontal to one-foot vertical).
  10. If road is damaged by your construction, it must be restored with same material.
  11. If contractor is still working on Final or Final Re-inspection, we will not inspect the job until all work is completed. Rejected tag will say NOT READY.
  12. If a homeowner wants to have landscaping or leave a natural area on their property, drainage easements must not be adversely affected and meet Final Public Works requirements as a functional surface water drainage plan. In addition, a natural area letter may be requested by the inspector and appropriate signatures will be required.
  13. If the builder chooses to install a drainage pipe on their property, the Public Works Department will determine the type, size, and gauge of the pipe. The builder must schedule a courtesy inspection after the pipe has been installed. The pipe must be stabilized with the top exposed, so that all the joints and ends can be inspected. It is the responsibility of the builder, at time of Final Inspection, to have the pipe or pipes working as part of a functional surface water drainage plan. In addition, at time of Final Inspection, the builder is required to provide an open area to inspect the top of pipe at the middle and may be required to have a drainage cap or catch basin on the ends.

14. Courtesy inspections are accepted before rough grading has started; these inspections are typically for areas that have minimal drainage in backyards and along easements. We do not provide pre-sod inspections. Also, no courtesy inspection after rejection tag has been issued.
15. Driveways and sidewalks for public accessibility, constructed by the builder, will be inspected to meet the approved site plan, City of P.S.L. Public Works Department standards, and ADA Standards for Accessible Design.
16. Damaged driveways and sidewalks for public accessibility will be rejected. The builder will be responsible to have it repaired with the appropriate inspections before a Final will be approved.

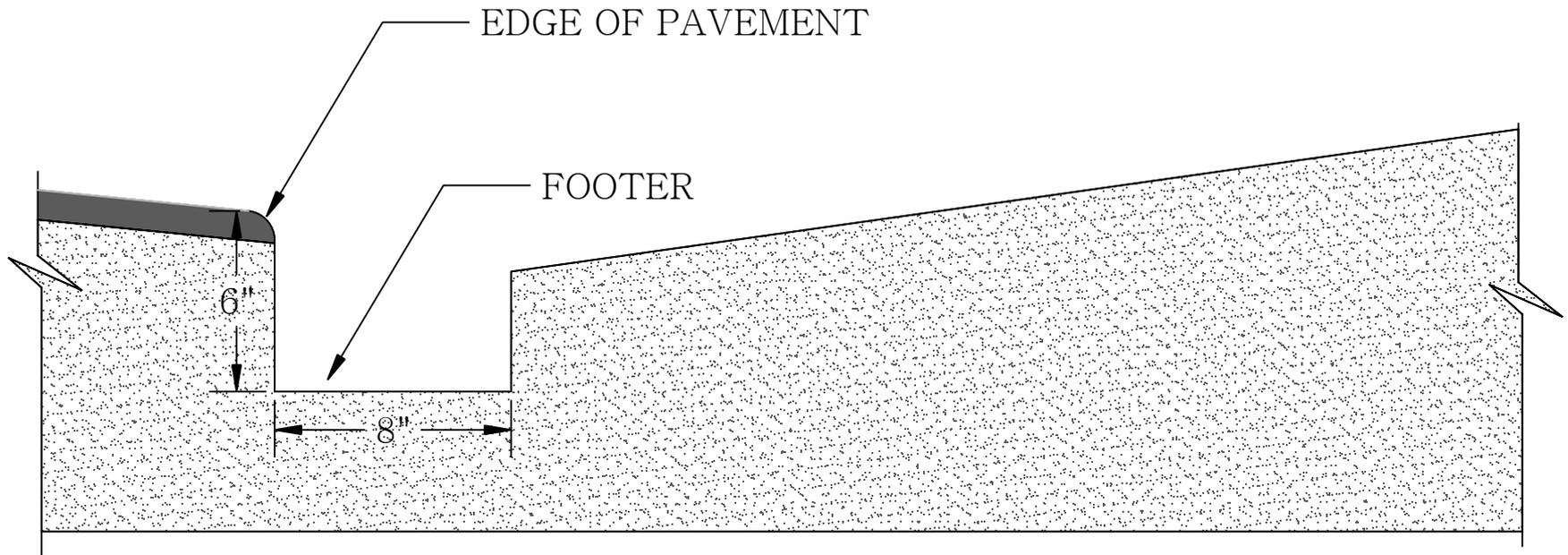
### **POOL INSPECTION**

1. There must not be any slope from the pool deck to any portion of the yard or drainage right of way greater than 3:1
2. To maintain proper erosion control, the subject property and any developed property disturbed due to the construction of the pool, must meet the Public Works Department's minimal standard for sod requirements. Using more sod is encouraged to prevent erosion. Examples of minimal sod requirements can be found on Exhibits K, L, and M in the Public Works Handout. Note: Sod being replaced that is not on your property must be original type of sod before construction of pool. In addition, meeting the Public Works Department's standard for sod requirements is between the homeowner and the pool company.
3. There must not be any construction debris from the construction of the pool on the job site or at any adjacent vacant or occupied lot.
4. The over all appearance of the job must be orderly and proper.
5. Any swale that has been disturbed during construction of the pool must be restored.
6. The yard must still be able to drain as it did before construction of the pool.
7. The builder shall be responsible to provide drainage that will prevent runoff of surface water into the pool structure.
8. Drainage pipes will be subject to the same requirements as a Final inspection. (See 13. on Final inspection above)

Note : Any modification of these requirements shall be on the approval of the Public Works Department.

ALL DRIVEWAYS (EXCLUDING GRASS OR BRICK PAVERS) MUST HAVE A MINIMUM 6" DEEP BY 8" WIDE FOOTER AT THE EDGE OF THE EXISTING PAVEMENT SURFACE.

NOTE: ALL 'ROADBASE' MATERIAL MUST BE REMOVED FROM THE FOOTER AREA SO THAT THE DRIVEWAY MEETS THE EXISTING EDGE OF PAVEMENT.



CITY OF PORT ST. LUCIE  
PUBLIC WORKS DEPARTMENT  
121 S.W. PORT ST. LUCIE BLVD.  
PORT ST. LUCIE FL. 34984

## FOOTER DETAIL

EXHIBIT H

NOTES:

DESIGNED BY:

DRAWN BY:

SHEET:

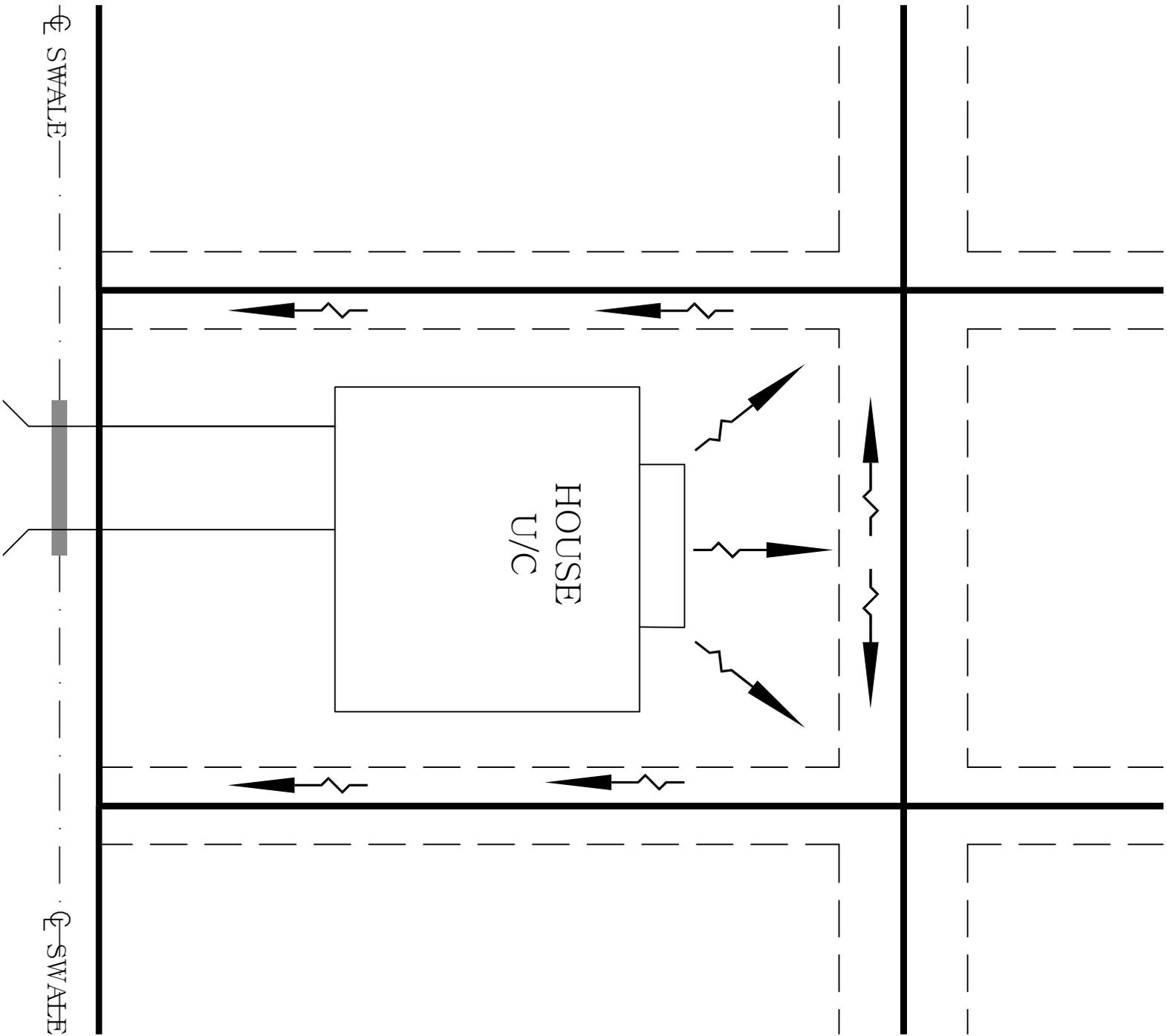
OF:

DATE:

AUG. 2013

# "A" DRAINAGE (TYPICAL LOT)

DIRECTION OF WATER FLOW =



CITY OF PORT ST. LUCIE  
 PUBLIC WORKS DEPARTMENT  
 121 S.W. PORT ST. LUCIE BLVD.  
 PORT ST. LUCIE FL. 34984

## "A" TYPE DRAINAGE

### EXHIBIT I

NOTES: U/C=UNDER  
 CONSTRUCTION

DESIGNED BY:

SHEET:

OF:

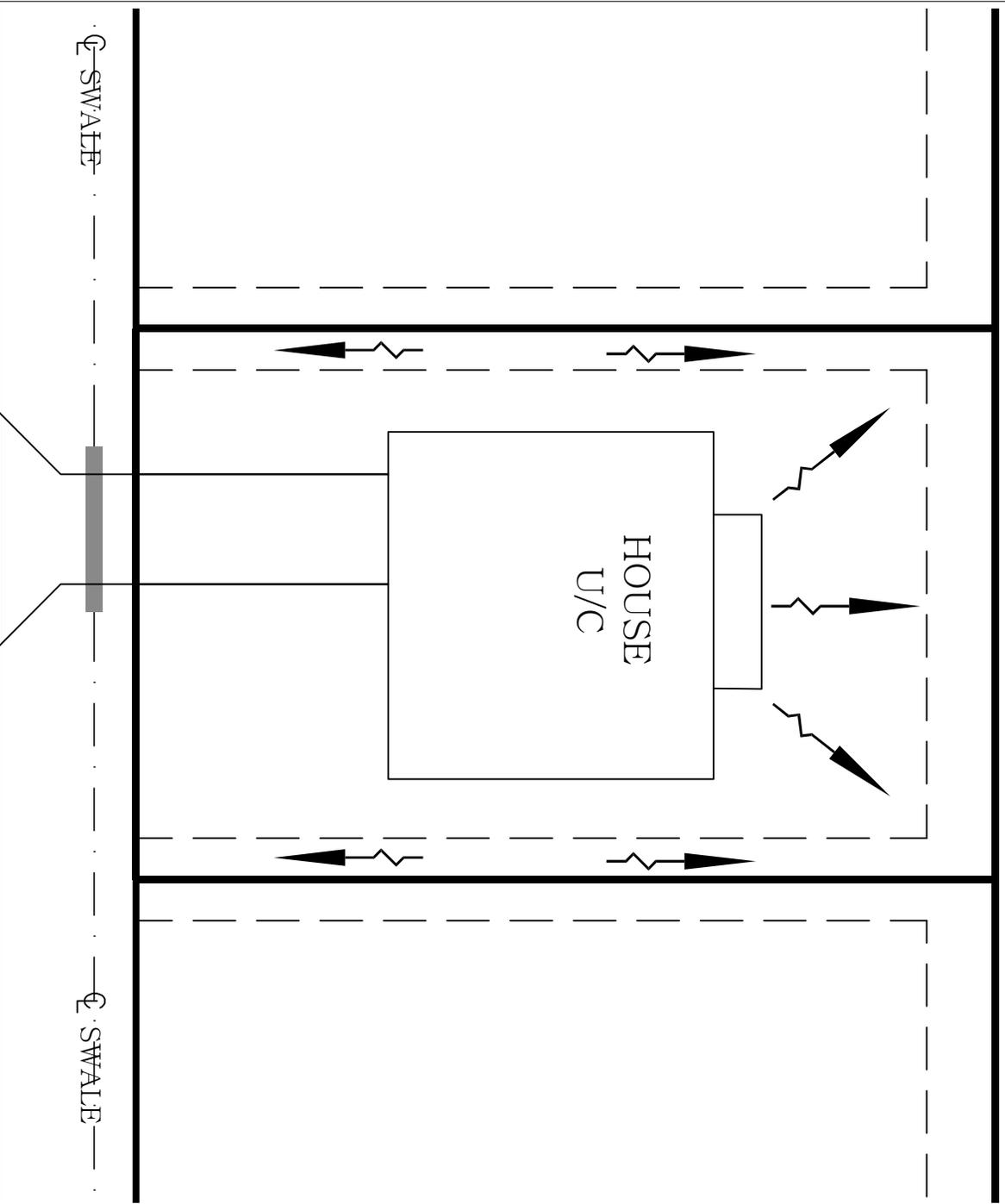
DRAWN BY:

DATE:

AUG. 2013

"B" DRAINAGE (TYPICAL LOT)  
 DIRECTION OF WATER FLOW = 

DRAINAGE R.O.W. / BODY OF WATER



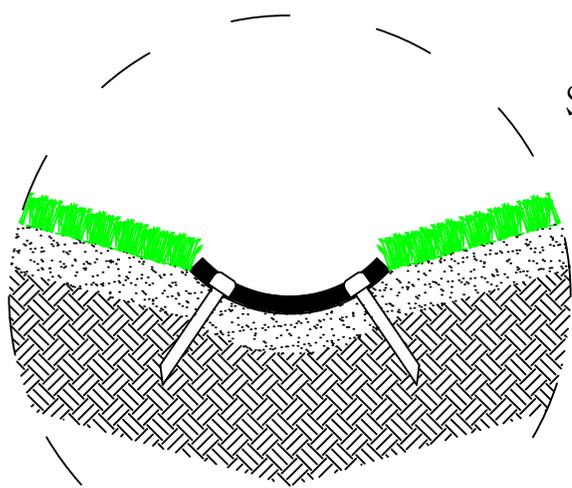
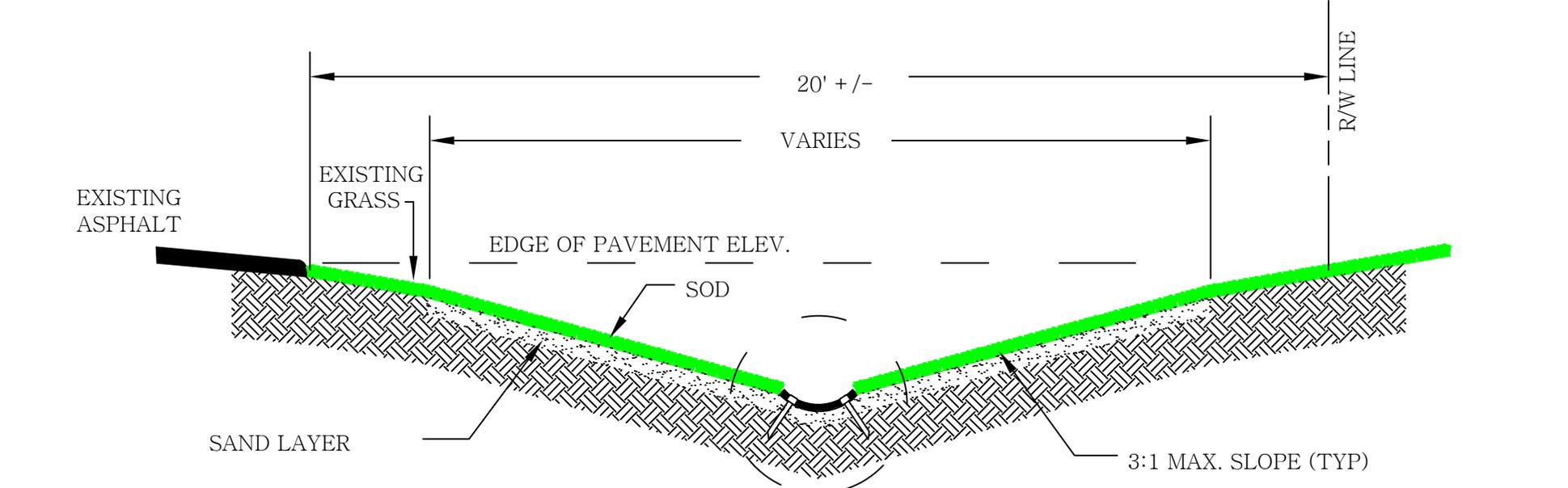
CITY OF PORT ST. LUCIE  
 PUBLIC WORKS DEPARTMENT  
 121 S.W. PORT ST. LUCIE BLVD.  
 PORT ST. LUCIE FL. 34984

"B" TYPE DRAINAGE  
 EXHIBIT J

NOTES: U/C=UNDER CONSTRUCTION

DESIGNED BY:  
 SHEET: OF:

DRAWN BY:  
 DATE: AUG. 2013



**NOTES:**

1. SWALE LINER: 1/4 SECTION OF 12" ID SMOOTH INNER WALL PERFORATED BLACK POLYETHYLENE PIPE.
2. 1/2" DIAMETER X 12" LONG PVC WITH CAP FOR STAKES THROUGH LINER AT CORRUGATION, EQUAL DISTANCE. (10 PER 20' LENTH)
3. SOD SHALL BE LAID OVER A 3" THICK SAND LAYER.
4. ALLOW A 1 1/2" GAP BETWEEN LINER SECTIONS FOR EXPANSION.
5. THE PEGS MUST BE FLUSH WITH THE LINER.

**SECTION VIEW**

**DETAIL "A"**

**PLASTIC SWALE LINER INSTALLATION DETAILS**



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**LINER DETAIL**  
 EXHIBIT K

NOTES:

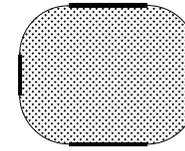
DESIGNED BY:  
 SHEET: OF:

DRAWN BY:  
 DATE: AUG. 2013

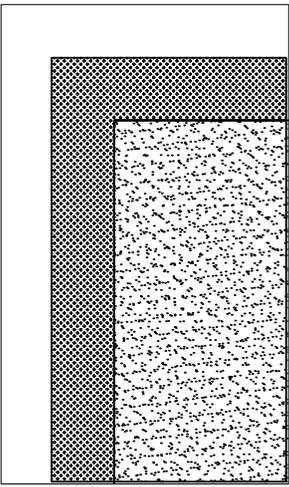
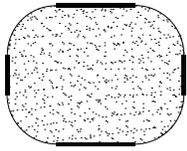
MIN. 1 ROW OF SOD ALONG PROPERTY LINES IN REAR

NOTE: FIELD CONDITIONS MAY REQUIRE ADDITIONAL SOD AS DETERMINED BY THE INSPECTOR

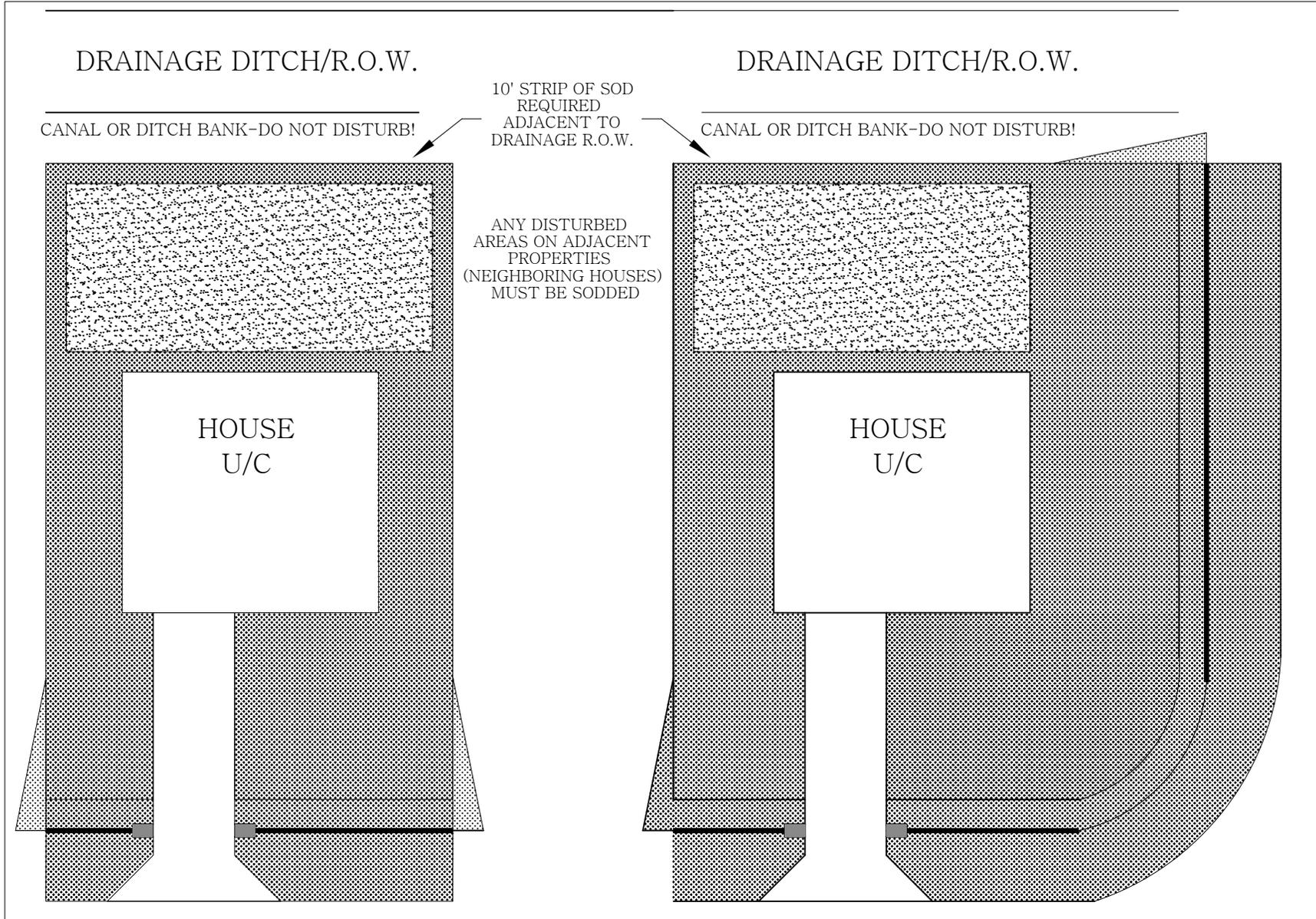
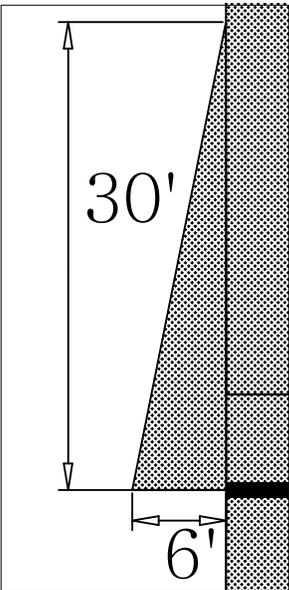
SOD REQUIRED=



SOD NOT REQUIRED=



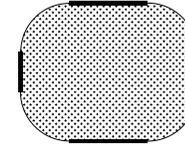
6X30' SOD WEDGE IF AREA IS DISTURBED



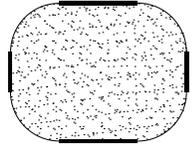
MIN. 1 ROW OF SOD  
ALONG PROPERTY  
LINES IN REAR

NOTE: FIELD CONDITIONS MAY REQUIRE  
ADDITIONAL SOD AS DETERMINED  
BY THE INSPECTOR

SOD  
REQUIRED=



SOD NOT  
REQUIRED=



ANY DISTURBED  
AREAS ON ADJACENT  
PROPERTIES  
(NEIGHBORING HOUSES)  
MUST BE SODDED

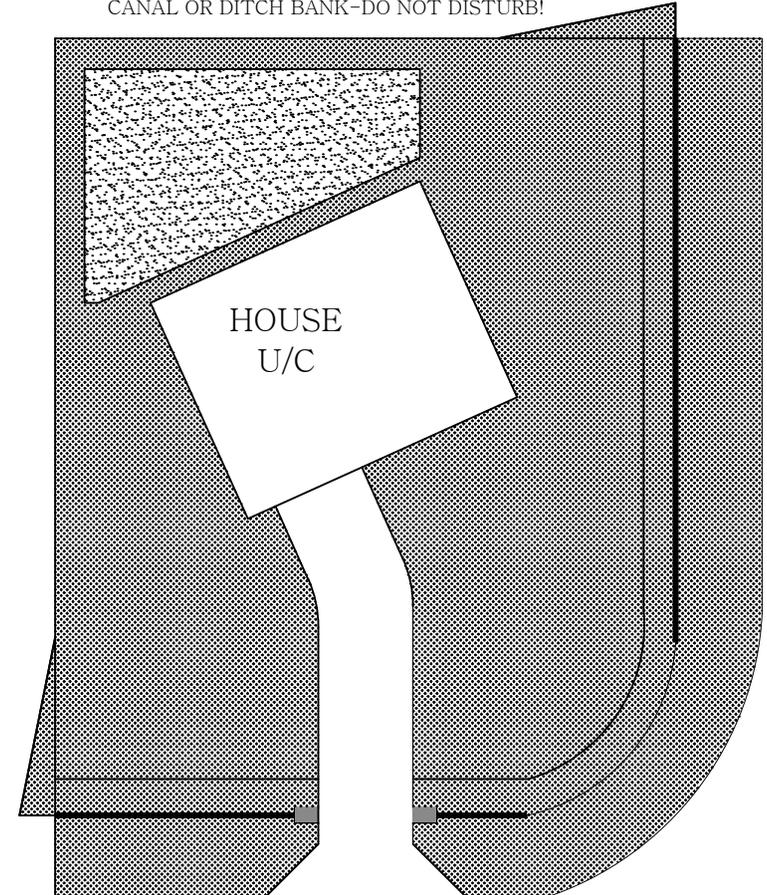
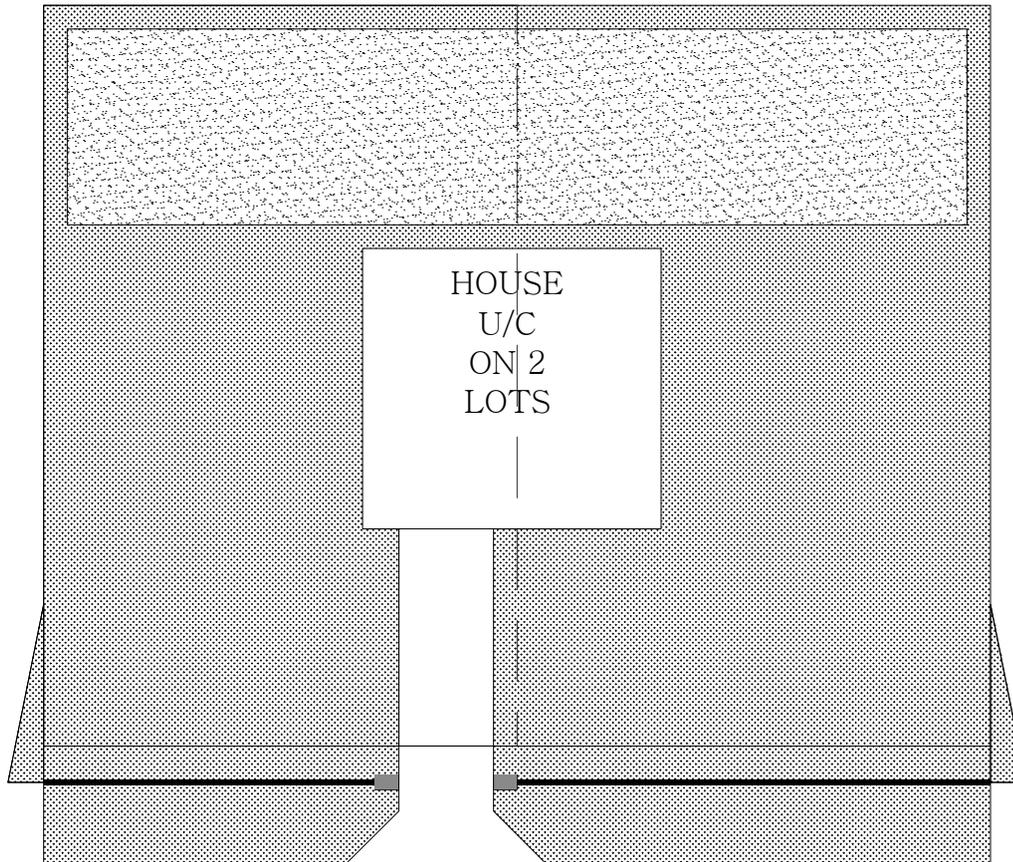
DRAINAGE DITCH/R.O.W.

10' STRIP OF SOD  
REQUIRED  
ADJACENT TO  
DRAINAGE R.O.W.

DRAINAGE DITCH/R.O.W.

CANAL OR DITCH BANK-DO NOT DISTURB!

CANAL OR DITCH BANK-DO NOT DISTURB!



CITY OF PORT ST. LUCIE  
PUBLIC WORKS DEPARTMENT  
121 S.W. PORT ST. LUCIE BLVD.  
PORT ST. LUCIE FL. 34984

SOD REQUIREMENTS #2

EXHIBIT M

NOTES: U/C=UNDER  
CONSTRUCTION

DESIGNED BY:

DRAWN BY:

SHEET:

OF:

DATE:

AUG. 2013



CITY OF PORT ST. LUCIE  
ENGINEERING DEPARTMENT  
121 S.W. PORT ST. LUCIE BLVD.  
PORT ST. LUCIE FL. 34984

MITERED END TYPE HEADWALL

EXHIBIT N

NOTES: EXAMPLE ONLY,  
NOT TO SCALE.

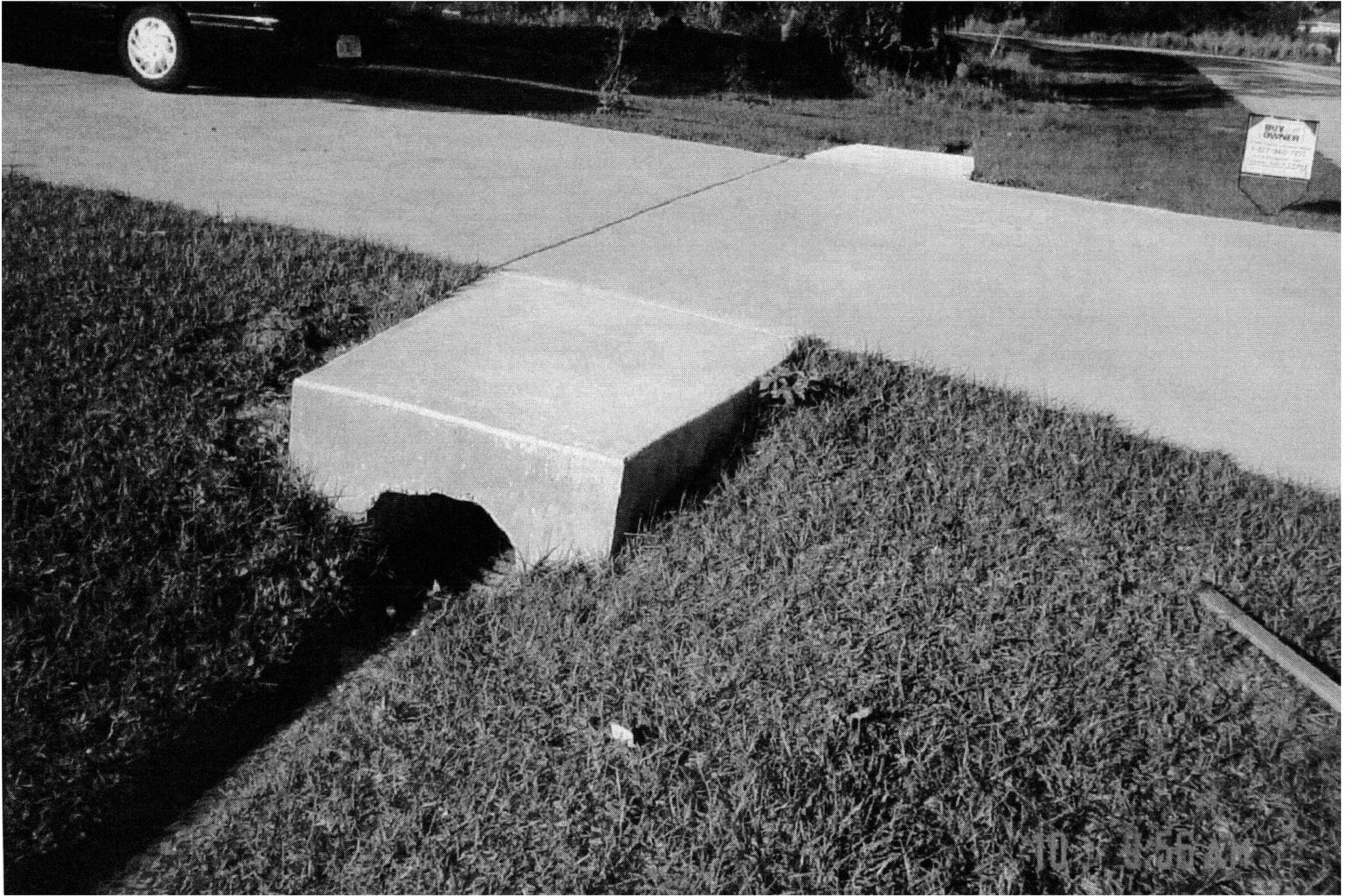
DESIGNED BY:

DRAWN BY:

SHEET:

OF:

DATE:



CITY OF PORT ST. LUCIE  
 ENGINEERING DEPARTMENT  
 121 S.W. PORT ST. LUCIE BLVD.  
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'BOX' TYPE HEADWALL

EXHIBIT O

NOTES: EXAMPLE ONLY,  
 NOT TO SCALE.

DESIGNED BY:

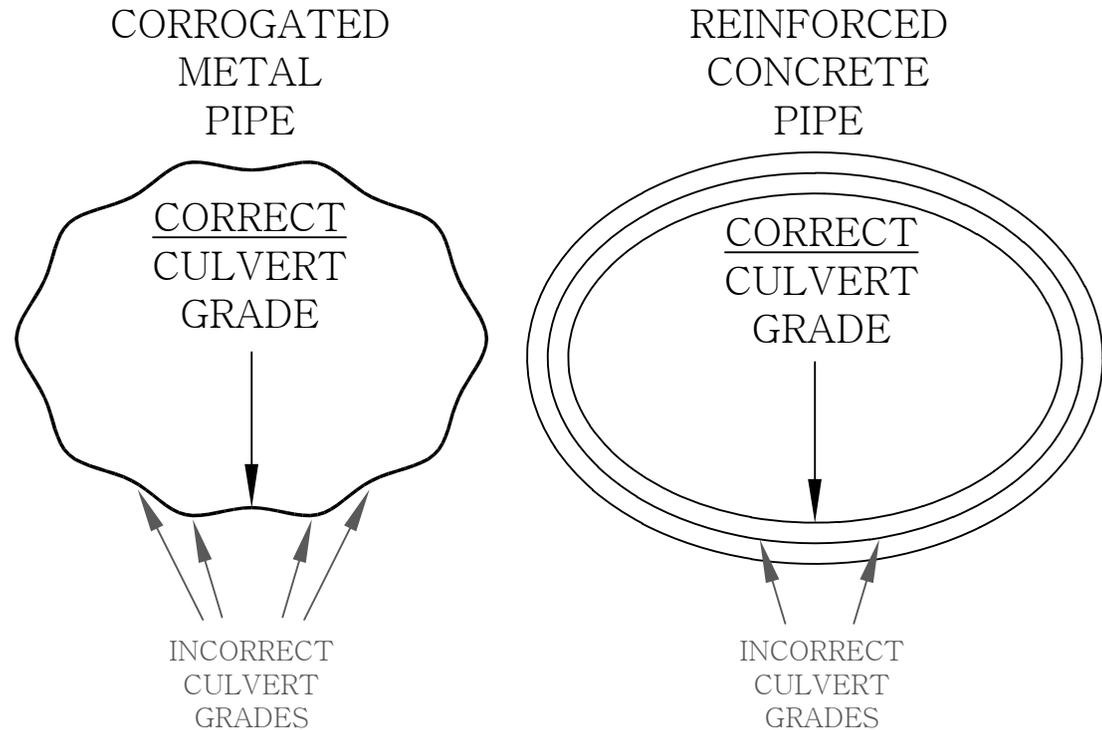
DRAWN BY:

SHEET:

OF:

DATE:

- NOTES:
1. CULVERT ELEVATIONS FOR CMP PIPES ARE TO BE SET AT THE HIGHEST POINT (TOP OF THE "RIPPLE") AT THE CENTER OF THE BOTTOM OF THE PIPE-OTHERWISE KNOWN AS THE INVERT.
  2. CULVERT ELEVATIONS FOR RCP PIPES ARE TO BE SET AT THE BOTTOM CENTER OF SURFACE OF THE PIPE (NOT THE OUTER "FEMALE" LIP)
  3. PIPE GRADES MUST BE CONSISTENT THROUGHOUT ENTIRE LENGTH (CANNOT HAVE BOW)
  4. RCP PIPE JOINTS MUST BE EXPOSED FOR INSPECTION AT TIME OF DRIVEWAY INSPECTION



# CONTRACTOR CHECK LIST

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- 1. VERIFY THAT THE DRAINAGE PLAN WILL WORK.
- 2. LINER INSTALLATION IS COMPLETE
- 3. SOD INSTALLATION IS COMPLETE
  - A. SOD WEDGES
  - B. SOD LOWER THAN THE EDGE OF PAVEMENT
  - C. ADJACENT SWALES IF DISTURBED
  - D. REAR BANKS IF DISTURBED
  - E. SOD TIED INTO NEIGHBORING LOTS
- 4. MAINTAIN SLOPES AT 3 TO 1 OR FLATTER  
(NO "TRENCHES" )
- 5. SEED AND HAY ADJACENT LOTS WHERE DISTURBED
- 6. LOOK AT TREES ALONG PROPERTY LINES TO  
DETERMINE IMPACT ON LOT DRAINAGE
- 7. REPAIR ANY DAMAGE TO ROAD THAT OCCURRED  
DURING CONSTRUCTION OF THE HOME
- 8. REMOVE BUILDING MATERIALS AND TRASH FROM  
ADJACENT AREAS
- 9. SCHEDULE A FINAL INSPECTION WHEN THE JOB IS  
COMPLETELY READY
- 10. KEEP REJECTION TAGS. REFERENCE THEM TO REDUCE  
CONFUSION

NOTE: THIS LIST IS TO BE USED AS A GUIDELINE ONLY. ADDITIONAL ITEMS CAN BE REQUIRED.